

# DEVELOPMENT APPLICATION

## PROPOSED RESIDENTIAL FLAT BUILDING



### DRAWING LIST

drawing number	description	scale
ar--cv00	Cover page and drawing list	N/A
ar--0100	Site Plan	1:200
ar--0300	Demolition Plan	1:100
ar--1200	Basement Plan	1:100
ar--1201	Ground Level Plan	1:100
ar--1202	Level 1 Plan	1:100
ar--1203	Level 2 Plan	1:100
ar--1204	Level 3 Plan	1:100
ar--1205	Roof Plan	1:100
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ar--2201	Section 3 & 4	1:100
ar--2202	Section 5 & 6	1:100
ar--2600	West and East Elevations	1:100
ar--2601	North and South Elevations	1:100
ar--3300	Adaptable Unit Layout	1:50
ar--4200	Wall Detail Sections	1:20

### UNITS SCHEDULE

Unit No	Unit Type	Internal Area	POS/ Balcony	Total Area	Solar Access (Min 2hr)	Cross ventilation	LHDG/ AS4299
Ground floor							
G01	2 Bed	70m <sup>2</sup>	34m <sup>2</sup>	104m <sup>2</sup>	Yes	Yes	Livable - Gold level
G02	1 Bed	53m <sup>2</sup>	27m <sup>2</sup>	80m <sup>2</sup>	Yes	Yes	Livable - Gold level
G03	1 Bed	58m <sup>2</sup>	23m <sup>2</sup>	81m <sup>2</sup>	Yes	No	Adaptable AS4299
G04	1 Bed	53m <sup>2</sup>	27m <sup>2</sup>	80m <sup>2</sup>	Yes	No	Livable - Gold level
G05	2 Bed	70m <sup>2</sup>	36m <sup>2</sup>	106m <sup>2</sup>	Yes	Yes	Livable - Gold level
G06	2 Bed	76m <sup>2</sup>	11m <sup>2</sup>	87m <sup>2</sup>	No	Yes	Livable - Gold level
Level 1							
101	2 Bed	70m <sup>2</sup>	10m <sup>2</sup>	80m <sup>2</sup>	Yes	Yes	Livable - Gold level
102	1 Bed	53m <sup>2</sup>	10m <sup>2</sup>	63m <sup>2</sup>	Yes	Yes	Livable - Gold level
103	1 Bed	52m <sup>2</sup>	9m <sup>2</sup>	61m <sup>2</sup>	Yes	No	Livable - Gold level
104	1 Bed	53m <sup>2</sup>	9m <sup>2</sup>	62m <sup>2</sup>	Yes	No	Livable - Gold level
105	2 Bed	70m <sup>2</sup>	11m <sup>2</sup>	81m <sup>2</sup>	Yes	Yes	Livable - Gold level
106	2 Bed	80m <sup>2</sup>	11m <sup>2</sup>	91m <sup>2</sup>	No	Yes	Adaptable AS4299

Unit No	Unit Type	Internal Area	POS/ Balcony	Total Area	Solar Access (Min 2hr)	Cross ventilation	LHDG/ AS4299
Level 2							
201	2 Bed	70m <sup>2</sup>	10m <sup>2</sup>	80m <sup>2</sup>	Yes	Yes	Livable - Gold level
202	1 Bed	53m <sup>2</sup>	10m <sup>2</sup>	63m <sup>2</sup>	Yes	Yes	Livable - Gold level
203	1 Bed	52m <sup>2</sup>	9m <sup>2</sup>	61m <sup>2</sup>	Yes	No	Livable - Gold level
204	1 Bed	53m <sup>2</sup>	9m <sup>2</sup>	62m <sup>2</sup>	Yes	No	Livable - Gold level
205	2 Bed	70m <sup>2</sup>	11m <sup>2</sup>	81m <sup>2</sup>	Yes	Yes	Livable - Gold level
206	2 Bed	80m <sup>2</sup>	11m <sup>2</sup>	91m <sup>2</sup>	No	Yes	Adaptable AS4299
Level 3							
301	1 Bed	55m <sup>2</sup>	15m <sup>2</sup>	70m <sup>2</sup>	Yes	Yes	Livable - Gold level
302	1 Bed	52m <sup>2</sup>	9m <sup>2</sup>	61m <sup>2</sup>	Yes	No	Livable - Gold level
303	1 Bed	53m <sup>2</sup>	9m <sup>2</sup>	62m <sup>2</sup>	Yes	No	Livable - Gold level
304	2 Bed	73m <sup>2</sup>	11m <sup>2</sup>	84m <sup>2</sup>	Yes	Yes	Livable - Gold level

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amendments					verified	
no.	date	amendment	by	chk'd	init	chk'd
A01	21/09/18	DA SUBMISSION	WJ	WJ	MN	MN
A02	29/04/29	DA SUBMISSION	WJ	WJ	ET	ET
A03	14/05/19	DA SUBMISSION	WJ	WJ	ET	ET
A04	12/09/19	DA SUBMISSION	YL	YL	ET	ET

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project/client

**residential flat building**  
**Lot1 D.P.830369, & Lot 30 D.P.2633,**  
**18-20 irving street, parramatta**



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L3/31-39 Macquarie Street, Parramatta, NSW 2150

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drawing title

cover page & drawing list

### da issue

original	scale	drawn	project no.
a1	nts	wj	4477-00
drawing no.			rev no.

**ar--cv00**

**a04**

amendments	no.	date	amendment	by	chk'd	init	chk'd	verified
A01	21/09/18	DA SUBMISSION		WJ	WJ	MR	MR	
A02	29/04/19	POS UPDATED		WJ	WJ	ED	ED	
A03	12/09/19	BLOG FOOTPRINT UPDATED		YL	YL	ED	ED	
		GARBAGE AREA UPDATED						
		COMMUNAL OPEN SPACE UPDATED						

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drawing title

site plan

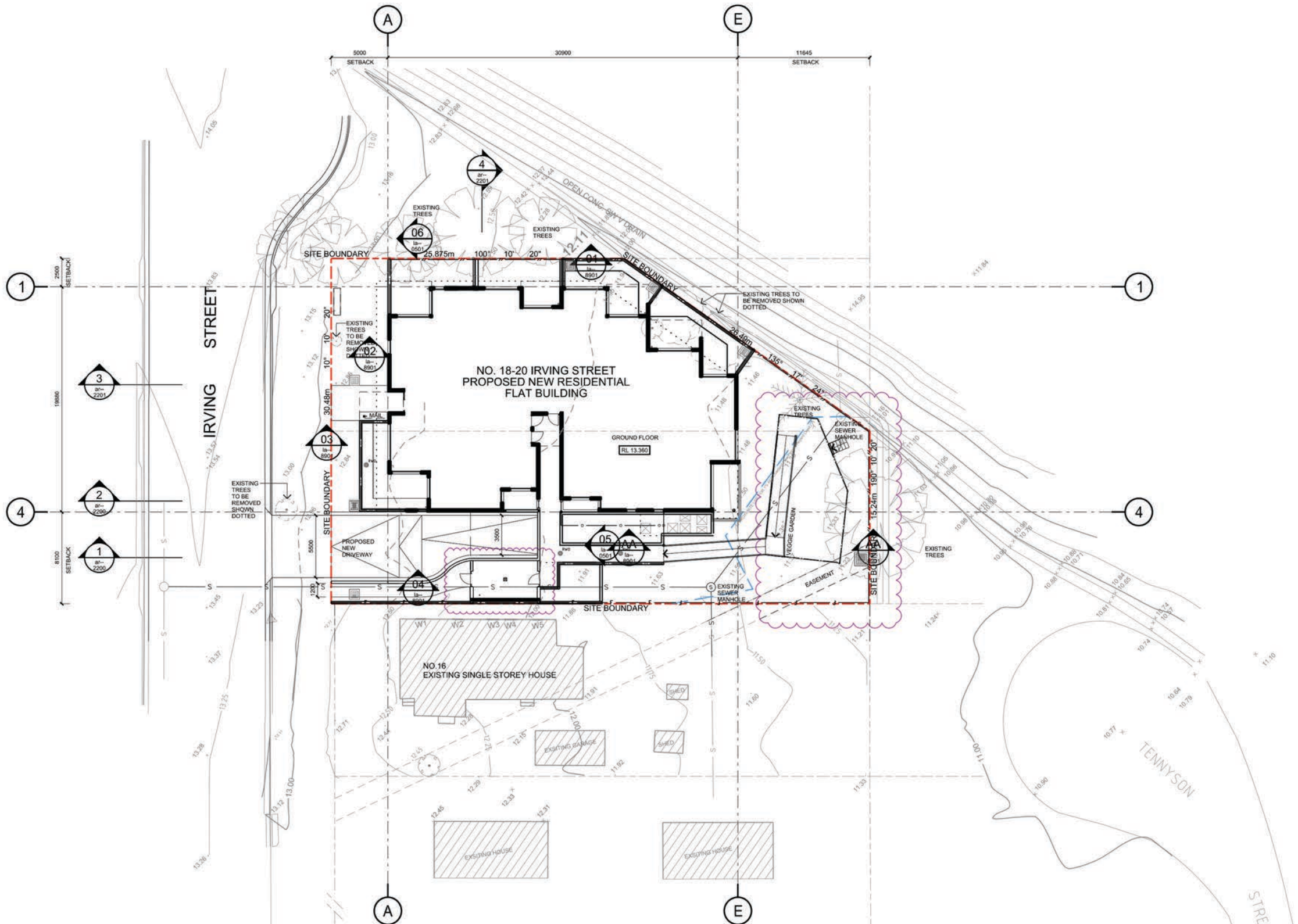
da issue

original scale drawn project no.  
a1 1:200 wj 4477-00

drawing no. rev no.

ar-0100

a03



NOTES:  
-REFER TO SURVEY DRAWING BY OPUS  
INTERNATIONAL CONSULTANTS  
(AUSTRALIA) PTY LTD  
-REFER TO LANDSCAPE DRAWING FOR  
EXTERNAL WORKS AND LEVELS

Planning requirements : Zone R4 High Density Residential

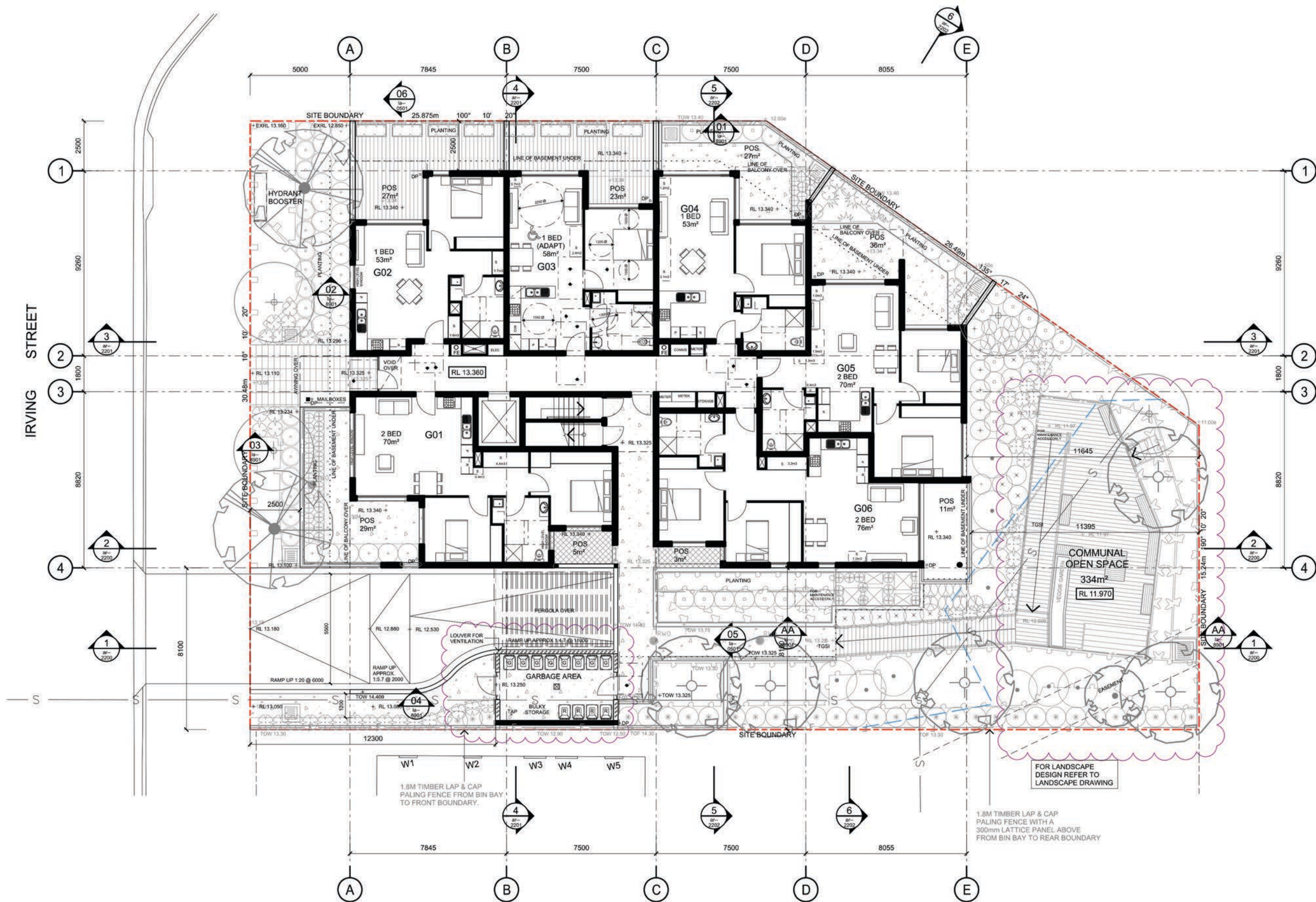
Site Area: 1280.30 m<sup>2</sup>

	SEPP ARH 2009	LEP	Proposed
FSR	1.3 : 1	0.8 : 1	1.25 : 1
GFA	1664 m <sup>2</sup>	1024 m <sup>2</sup>	1598 m <sup>2</sup>
Height Limit		Max.: 11.0 m	Front: 14.1m, Rear: 15.1m 3.5 storeys
Resident Car Parking	11 spaces	-	11 spaces
Bicycle Parking	-	11 spaces	11 spaces

	SEPP ARH 2009	ADG (SEPP 65)	Proposed
Deep soil Zone	Min. 15%	Min. 7%	21.8%
	192.05 m <sup>2</sup>	89.62 m <sup>2</sup>	280 m <sup>2</sup>
Landscape Area	35 m <sup>2</sup> x 22 units 770 m <sup>2</sup>	-	28%
			362 m <sup>2</sup>
Communal Open Space	-	Min. 25%	26.1%
		320.08 m <sup>2</sup>	334 m <sup>2</sup>

	SEPP ARH 2009	ADG (SEPP 65)	Proposed
Solar Access	Min. 70% - 3hrs	Min. 70% - 2hrs	86.4% - 2hrs 72.7% - 3hrs
Cross Ventilation	-	Min. 60%	63.6%
No Direct Sun light	-	Max. 15%	0%

	1 bed	2 bed	Total
Ground floor	3	3	6
Level 1	3	3	6
Level 2	3	3	6
Level 3	3	1	4
Total	12	10	22
%	55%	45%	100%



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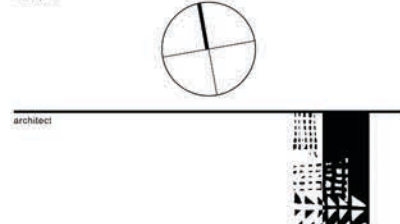
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A01	21/09/18	DA SUBMISSION	WJ	WJ	MR	MR
A02	29/04/19	UNIT G01 UPDATED	WJ	WJ	ET	ET
A03	14/05/19	UNIT G01 UPDATED	WJ	WJ	ET	ET
A04	12/09/19	GARBAGE AREA UPDATED COMMUNAL OPEN SPACE UPDATED	YL	YL	ET	ET

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civil engineer

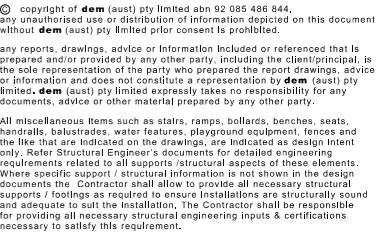
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structural engineer

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drawing title  
**ground floor plan**

**da issue**  
original scale drawn project no.  
a1 1:100 wj 4477-00  
drawing no. rev no.  
**ar-1201** **a04**




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drawing title  
roof plan

ar-1205 a03



## abbreviations / legend

FC-1	PREFINISHED WALL PANEL - GREY COLOR
FC-2	PREFINISHED WALL PANEL - TERRACOTTA COLOR
FC-3	PREFINISHED WALL PANEL - WHITE COLOR
CONC-S	CONCRETE FINISH WITH SKIM COAT - OFF WHITE
FB	FACE BRICK-IN CREAMY COLOR
LVR-T	LOUVRES IN "TIMBER LOOK" COLOR
STN	SANDSTONE
AW	ALUMINIUM FRAMED AWNING WINDOW
BAL-1	BALUSTRADE INFILL WITH VERTICAL "L" ANGLE
BAL-2	BALUSTRADE WITH PERFORATED METAL INFILL PANEL
D	SOLID DOOR
FG	ALUMINIUM FRAMED FIXED GLASS
FR-AG	GLAZING WITH FIRERATED PANEL BEHIND
GD	ALUMINIUM FRAMED GLAZING DOOR
RP-1	MASONRY WALL RENDERED AND PAINTED IN GREY

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A01	21/09/18	DA SUBMISSION	WJ	WJ	MN
A02	29/04/19	FLOOR TO FLOOR HEIGHT UPDATED SECTION UPDATED	WJ	WJ	ET
A03	12/09/19	ROOF PARAPET RL UPDATED COMMUNAL OPEN SPACE UPDATED	YL	YL	ET

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section 1 & 2

da issue

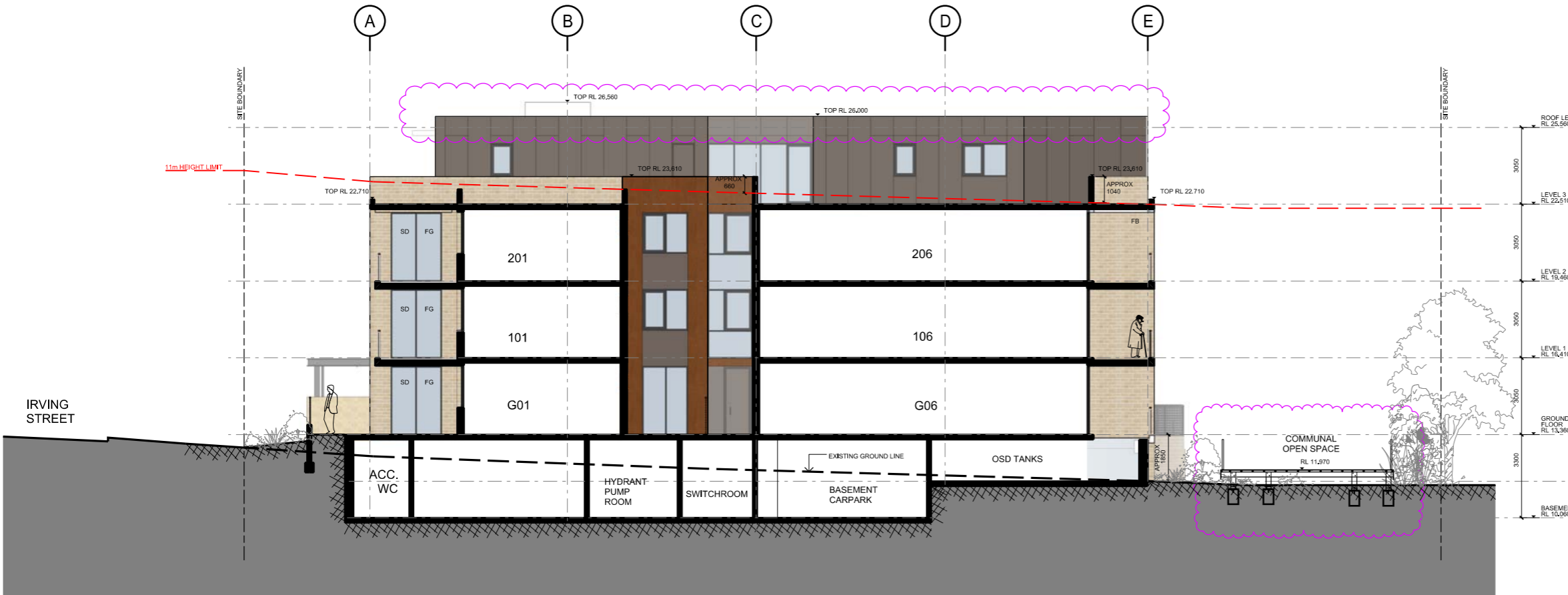
original	scale	drawn	project no.
a1	1:100	wj	4477-00
drawing no.			rev no.

ar-2200

a03

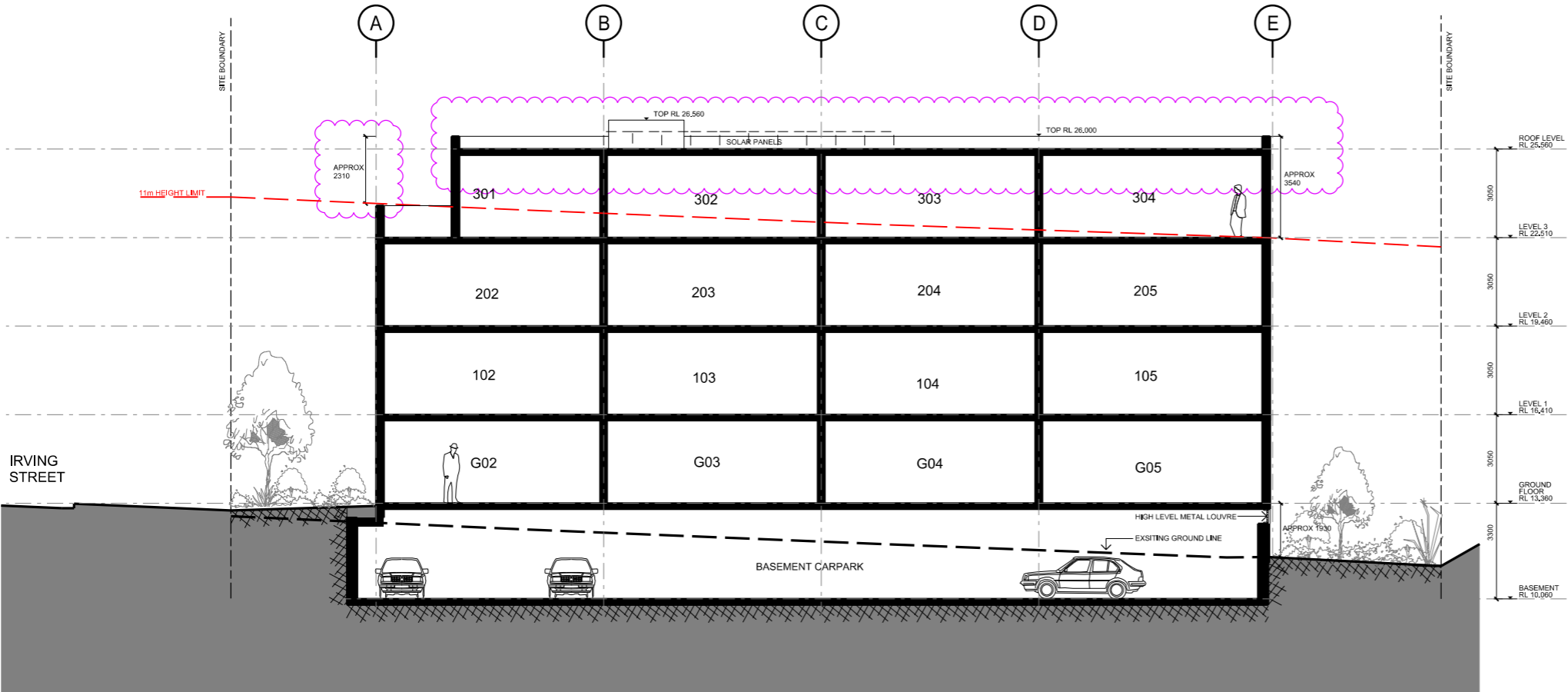
## SECTION 1

SCALE 1:100

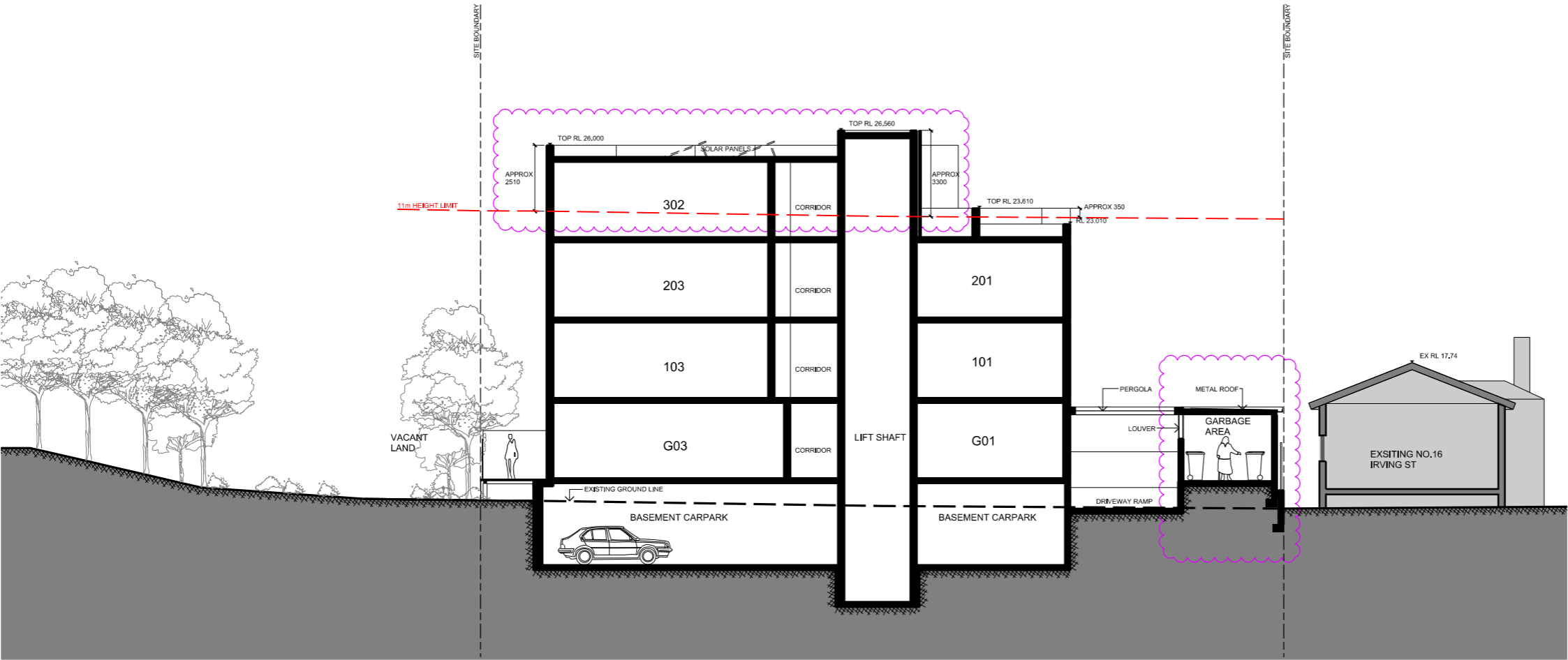


## SECTION 2

SCALE 1:100



SECTION 3  
SCALE 1:100



SECTION 4  
SCALE 1:100

## abbreviations / legend

FC-1	PREFINISHED WALL PANEL - GREY COLOR
FC-2	PREFINISHED WALL PANEL - TERRACOTTA COLOR
FC-3	PREFINISHED WALL PANEL - WHITE COLOR
CONC-S	CONCRETE FINISH WITH SKIM COAT - OFF WHITE
FB	FACE BRICK-IN CREAMY COLOR
LVR-T	LOUVRES IN "TIMBER LOOK" COLOR
STN	SANDSTONE
AW	ALUMINIUM FRAMED AWNING WINDOW
BAL-1	BALUSTRADE INFILL WITH VERTICAL "I" ANGLE
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D	SOLID DOOR
FG	ALUMINIUM FRAMED FIXED GLASS
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RP-1	MASONRY WALL RENDERED AND PAINTED IN GREY

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A03	12/09/19	SECTION UPDATED	YL	YL	ET	ET		
		ROOF PARAPET RL UPDATED						
		GARBAGE AREA UPDATED						

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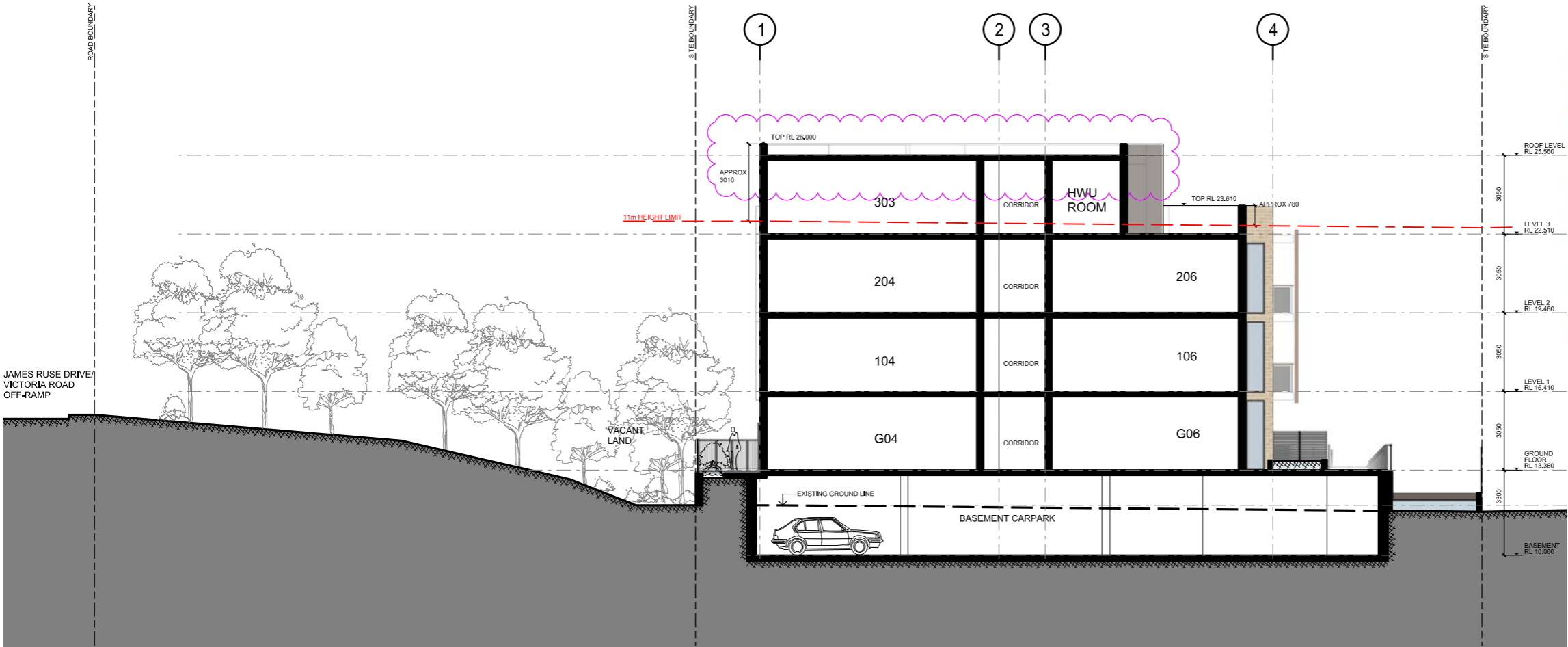
**tlb** A Torkin Company  
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drawing title  
**sections 3 & 4**

**da issue**

original	scale	drawn	project no.
a1	1:100	wj	4477-00
drawing no.		rev no.	

**ar-2201** **a03**



SECTION 5  
SCALE 1:100

### abbreviations / legend

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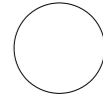
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A01	29/04/19	DA SUBMISSION	WJ	WJ	ET	ET	
		NEW DRAWING					
A02	14/05/19	DA SUBMISSION	WJ	WJ	ET	ET	
A03	12/09/19	ROOF PARAPET RL UPDATED	YL	YL	ET	ET	

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planning, urban design, architecture,  
landscape architecture, interior design

p: po box 5036 west chatswood nsw 1515

t: (02) 8966 6000

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project/client

**residential flat building**  
**Lot1 D.P.830369, & Lot 30 D.P.2633,**  
**18-20 irving street, parramatta**



NSW LAND & HOUSING CORPORATION  
L3/31-39 Macquarie Street, Parramatta, NSW 2150

civil engineer



C & M CONSULTING ENGINEERS

services engineer



BSE BUILDING SERVICES ENGINEERS

structural engineer



TAYLOR LAUDER BERSTEN PTY. LTD.  
CONSULTING STRUCTURAL, CIVIL & MARITIME  
ENGINEERS

drawing title

sections 5 & 6

## da issue

original	scale	drawn	project no.
a1	1:100	wj	4477-00
drawing no.			rev no.

**ar--2202**

**a03**



WEST ELEVATION  
VIEW FROM IRVING ST SCALE 1:100



EAST ELEVATION  
SCALE 1:100

## abbreviations / legend

FC-1	PREFINISHED WALL PANEL - GREY COLOR
FC-2	PREFINISHED WALL PANEL - TERRACOTTA COLOR
FC-3	PREFINISHED WALL PANEL - WHITE COLOR
CONC-S	CONCRETE FINISH WITH SKIM COAT - OFF WHITE
FB	FACE BRICK-IN CREAMY COLOR
LVR-T	LOUVRES IN "TIMBER LOOK" COLOR
STN	SANDSTONE
AW	ALUMINIUM FRAMED AWNING WINDOW
BAL-1	BALUSTRADE INFILL WITH VERTICAL "L" ANGLE
BAL-2	BALUSTRADE WITH PERFORATED METAL INFILL PANEL
D	SOLID DOOR
FG	ALUMINIUM FRAMED FIXED GLASS
FR-AG	GLAZING WITH FIRERATED PANEL BEHIND
GD	ALUMINIUM FRAMED GLAZING DOOR
RP-1	MASONRY WALL RENDERED AND PAINTED IN GREY

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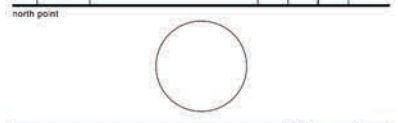
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A01	21/09/18	DA SUBMISSION	WJ	WJ	WJ	WJ	WJ	WJ
A02	28/04/19	FLOOR TO FLOOR HEIGHT UPDATED ELEVATIONS UPDATED	WJ	WJ	WJ	WJ	WJ	WJ
A03	14/05/19	POS UPDATED	WJ	WJ	WJ	WJ	WJ	WJ
A04	12/08/19	ROOF PARAPET RL UPDATED GARBAGE AREA UPDATED	YL	YL	YL	YL	YL	YL



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west and east elevations

da issue










original scale drawn project no.  
a1 1:100 wj 4477-00

drawing no. rev no.  
ar-2600 a04



 NORTH ELEVATION  
SCALE 1:100

## abbreviations / legend

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	GD	ALUMINIUM FRAMED GLAZING DOOR
	RP-1	MASONRY WALL RENDERED AND PAINTED IN GREY

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A02	29/04/19	FLOOR TO FLOOR HEIGHT UPDATED ELEVATIONS UPDATED	WJ	WJ	ET	ET	
A03	14/05/19	POS UPDATED	WJ	WJ	ET	ET	
A04	12/09/19	ROOF PARAPET RL UPDATED GARBAGE AREA UPDATED	YL	YL	ET	ET	

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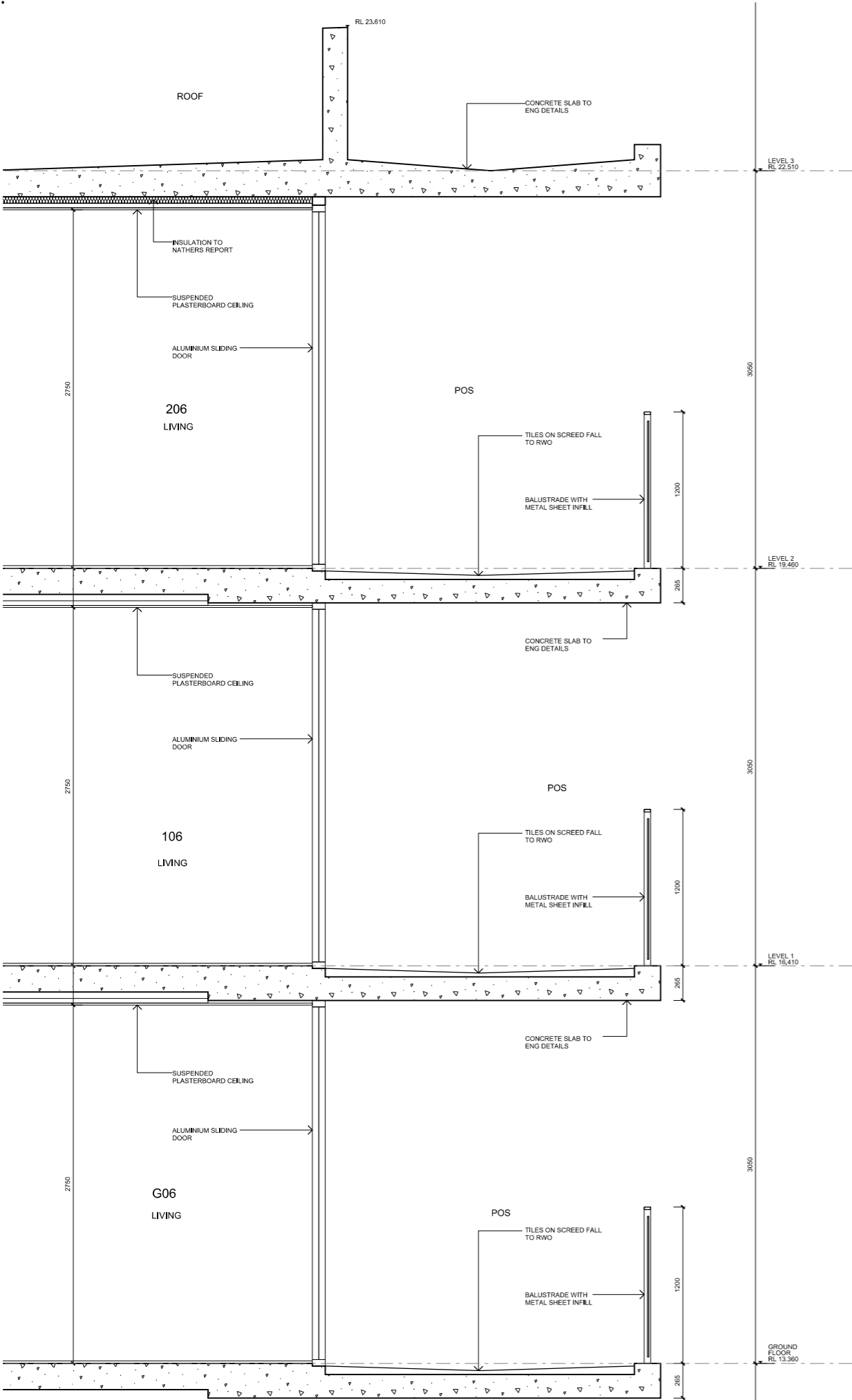
drawing title  
**north and south elevations**

## da issue

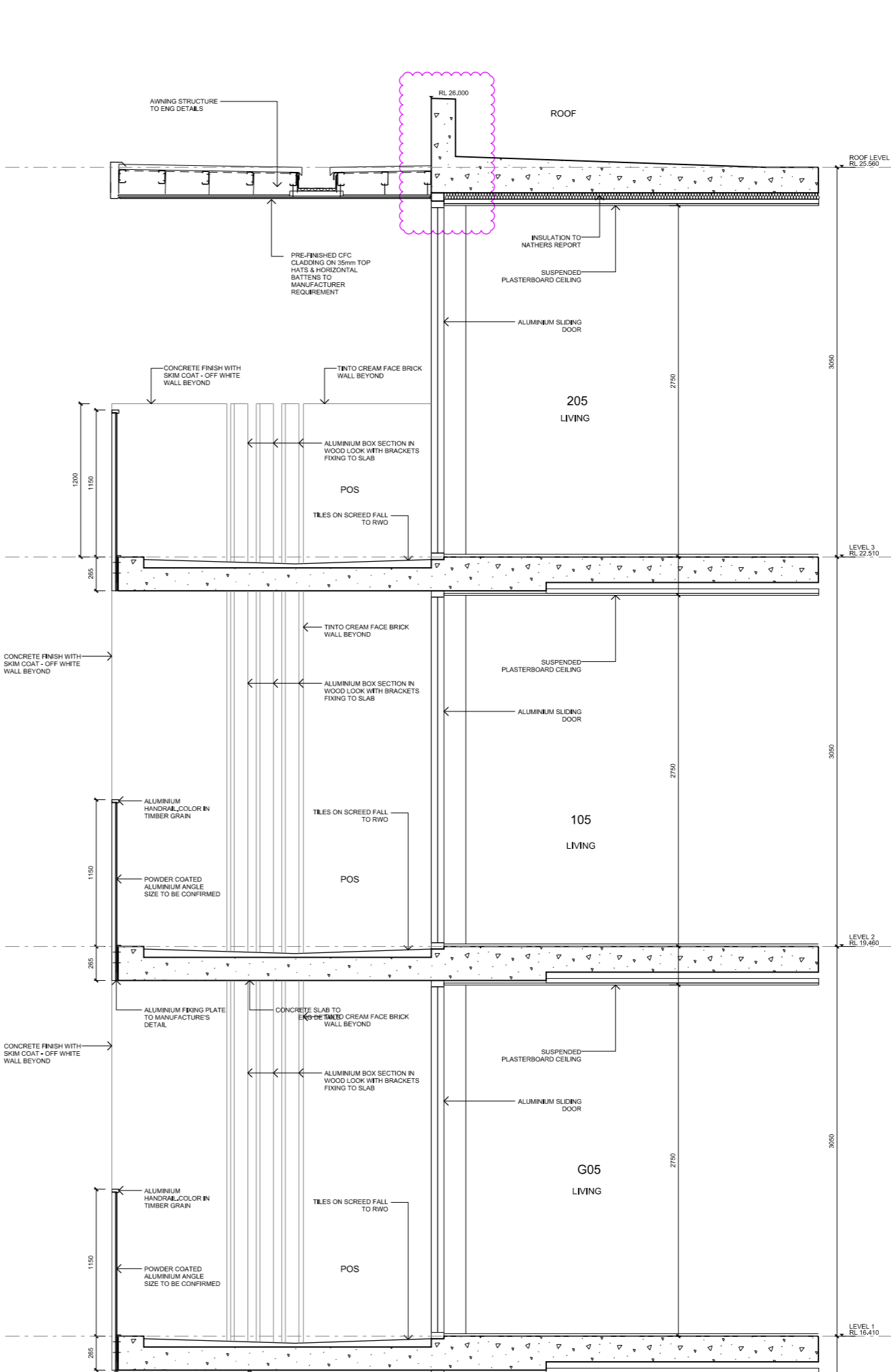
original	scale	drawn	project no.
a1	1:100	wj	4477-00
drawing no.			rev no.

**ar-2601**

**a04**



1 WALL DETAIL SECTION  
 SCALE 1:20



2 WALL DETAIL SECTION  
 SCALE 1:20

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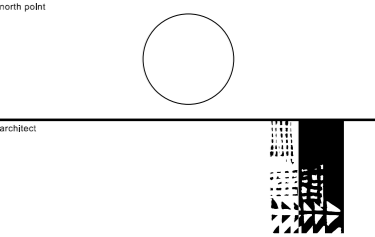
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no.	date	amendment	by	chk'd	int	chk'd	et	et
A01	29/04/19	DA SUBMISSION	WJ	WJ	ET	ET		
A02	12/08/19	NEW DRAWING ROOF PARAPET UPDATED	YL	YL	ET	ET		



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civil engineer



services engineer



structural engineer



drawing title  
**wall detail sections**

da issue

original	scale	drawn	project no.
a1	1:20	wj	4477-00
drawing no.	rev no.		
ar--4200	a02		



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Social Housing Development, Parramatta

Lot 1 D.P. 830369 & Lot 30 D.P. 2633, 18-20 Irving Street, Parramatta

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street montage  
view from irving street

date 12/09/19  
scale nts  
drawg no. arsk5100  
proj no. 0000-00  
rev no. a03

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# RESIDENTIAL FLAT BUILDING

## 18-20 IRVING STREET PARRAMATTA

### LANDSCAPE ARCHITECTURAL DRAWINGS

#### PLANT LIST

SOCIAL HOUSING DEVELOPMENT, PARRAMATTA						
Code	Botanic Name	Common Name	Size	Pot Size	Rate	Quantity
TREES						
Er	Elaeocarpus reticulatus	Blueberry Ash	6x4m	75L	N/A	9
Ep	Eucalyptus punctata	Grey Gum	12x8m	25L	N/A	2
Li	Lagerstroemia indica	Crape Myrtle	6X6m	25L	N/A	4
MI	Melaleuca linearifolia	Snow in Summer	4x5m	25L	N/A	1
TI	Tristaniopsis laurina 'Luscious'	Water Gum	8x5m	75L	N/A	5
SHRUBS						
Bs	Banksia spinulosa	Hairpin Banksia	1.5x1m	200mm	1000mm	6
Bmj	Buxus microphylla	Japanese Box	Trim to 0.5x0.5m	200mm	500mm	27
CI	Callistemon linearifolius	Bottlebrush	2.5x1m	200mm	1000mm	22
De	Doryanthes excesior	Gymea lily	1.5x1.5m	200mm	1000mm	17
Ga	Gardenia augusta	Gardenia	1x1m	200mm	500mm	26
Mp	Murraya paniculata	Orange jasmine	1x1.2m	200mm	1000mm	5
Pg	Photinia glabra 'Red Robin'	Photinia	0.3x1m	200mm	1000mm	21
Sr	Strelitzia reginae	Bird of Paradise	1x1m	200mm	1000mm	44
Sp	Syzigium Pinnacle	Pinnacle	7x1.2m	200mm	1000mm	29
Ss	Syzygium smithii	Lilly Pilly	1x1.2m	200mm	1000mm	31
Rop	Rhaphiolepis 'Oriental Pearl'	Oriental Pearl	0.6x1m	200mm	750mm	6
Wfs	Westringia fruticosa Spp.	Westringia	2x2m	200mm	750mm	26
GROUNDCOVER						
DI	Dianella longifolia	Dianella	0.8x0.5m	150mm	6 per /m2	44
Dr	Dichondra repens	Kidney Weed	0.2x1m	150mm	6 per /m2	58
Hv	Hardenbergia violacea	Happy Wanderer	0.3x2m	150mm	6 per /m2	81
LR	Liriope 'Just Right'	Just right	0.45x0.4m	150mm	6 per /m2	119
Lf	Lomandra filiformis	Mat Rush	0.3x0.3m	150mm	6 per /m2	134
LK	Lomandra 'Katrinus'	Lomandra	1x1m	150mm	6per /m2	134
LS	Lomandra Shara	Shara	0.5x0.5m	150mm	6 per /m2	117
NdB	Nandina domestica 'Blush'	Sacred Bamboo	0.6x0.6m	150mm	6 per /m2	44
PX	Philodendron 'Xanadu'	Xanadu	0.7x0.7m	150mm	6 per /m2	51
Tj	Trachelospermum Jasminoides	Star Jasmine	1.2x1m	150mm	6 per /m2	63
Vh	Viola hederacea	Native Violet	Groundcover	150mm	6 per /m2	58
CLIMBERS						
Fp	Ficus pumila	Creeping fig	3x2m	150mm	500mm	11



#### GENERAL NOTES

- THIS DRAWING TO BE READ IN CONJUNCTION WITH LANDSCAPE WORKS SPECIFICATION
- DIMENSIONS ARE IN MILLIMETRES LEVELS SHOWN ARE IN METRES DO NOT SCALE ANY DRAWINGS
- FOR ROAD DETAILS REFER TO CIVIL ENGINEERS DRAWINGS
- FOR BUILDING DETAILS REFER TO ARCHITECTURAL DRAWINGS
- FOR STORMWATER DRAINAGE REFER TO HYDRAULIC ENGINEERS DRAWINGS
- FOR LIGHTING REFER TO ELECTRICAL ENGINEERS DRAWINGS
- ALL SERVICES ARE TO BE CHECKED & VERIFIED ON SITE
- REFER TO SURVEY PLANS BY OPUS INTERNATIONAL CONSULTANTS(AUSTRALIA) PTY LTD DATED 1ST APRIL 2015 NOT ALL SURVEY INFORMATION HAS BEEN SHOWN FOR CLARITY OF DRAWING SOME DISCREPANCIES MAY OCCUR

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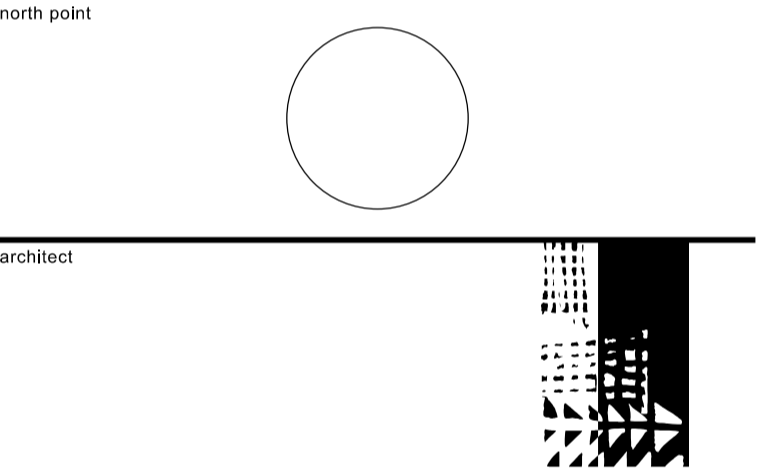
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A01	20/08/18	PRELIMINARY	JB		AB		
A02	30/08/18	FINAL COORDINATION	JB	JB	AB	AB	
A03	31/08/18	DRAFT DA	JB	JB	AB	AB	
A04	14/09/18	DA ISSUE	JB	JB	AB	AB	
A05	30/04/19	REVISED DA ISSUE	AB	AB	AB	AB	
A06	12/09/19	REVISED DA ISSUE	AB	AB	AB	AB	



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NSW GOVERNMENT  
Family & Community Services  
Land & Housing Corporation

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13/31-39 Macquarie Street, Parramatta, NSW 2150

civil engineer



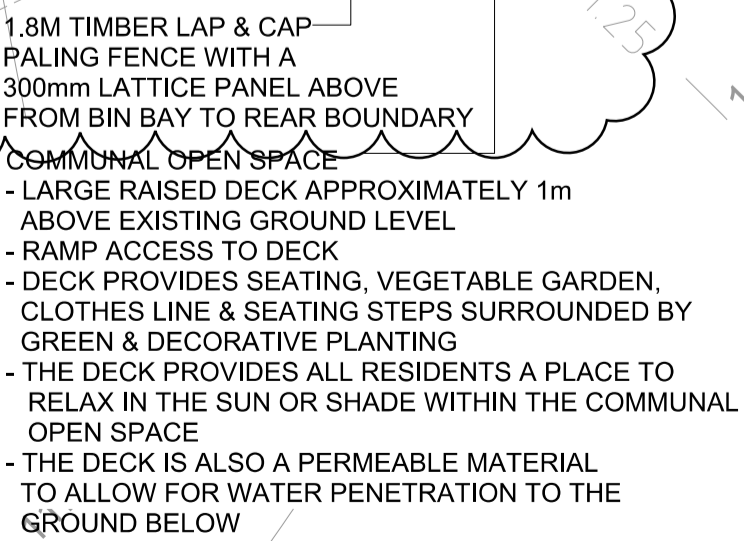
landscape title sheet

da issue

original	scale	drawn	project no.
a1	1:100	JB	4477-01
drawing no.		rev no.	

la--cv00

A06

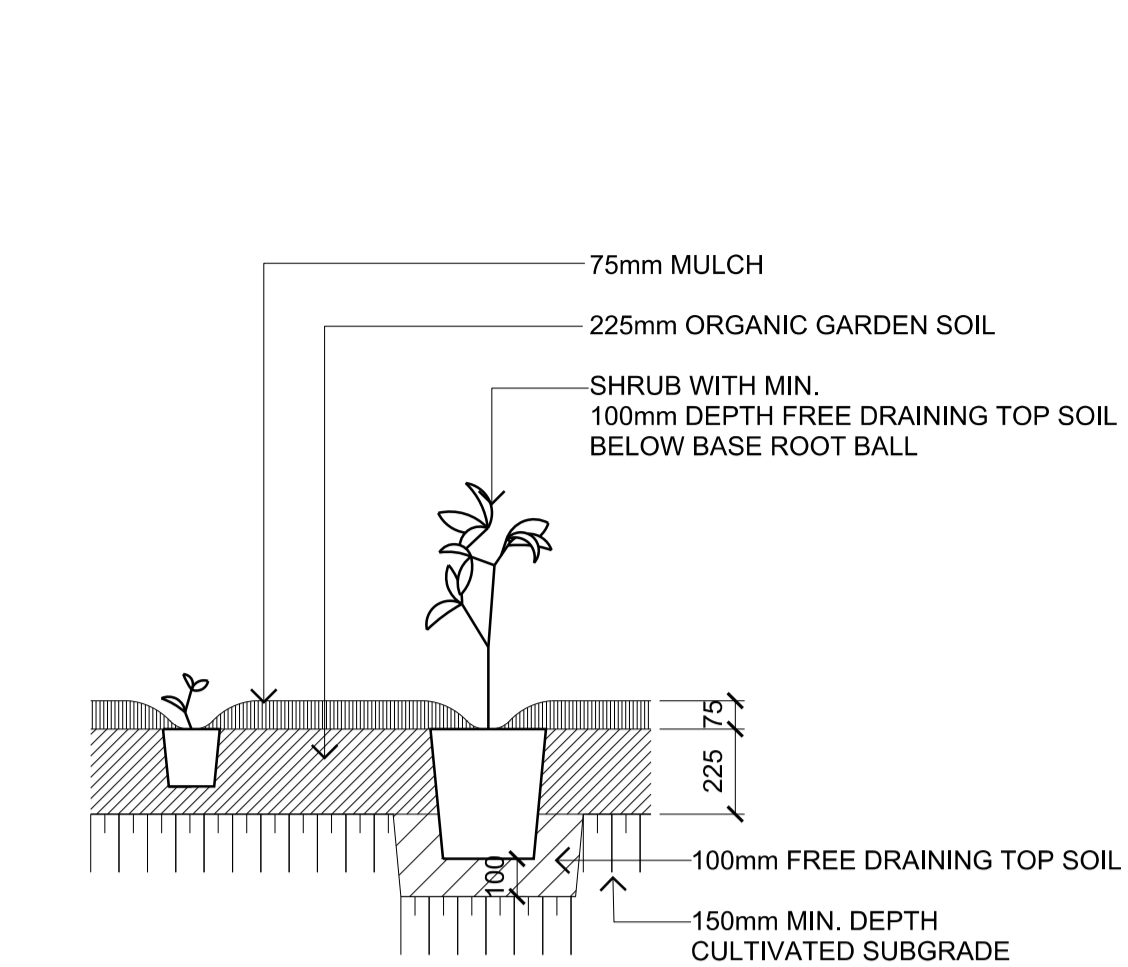


PROPOSED TREES

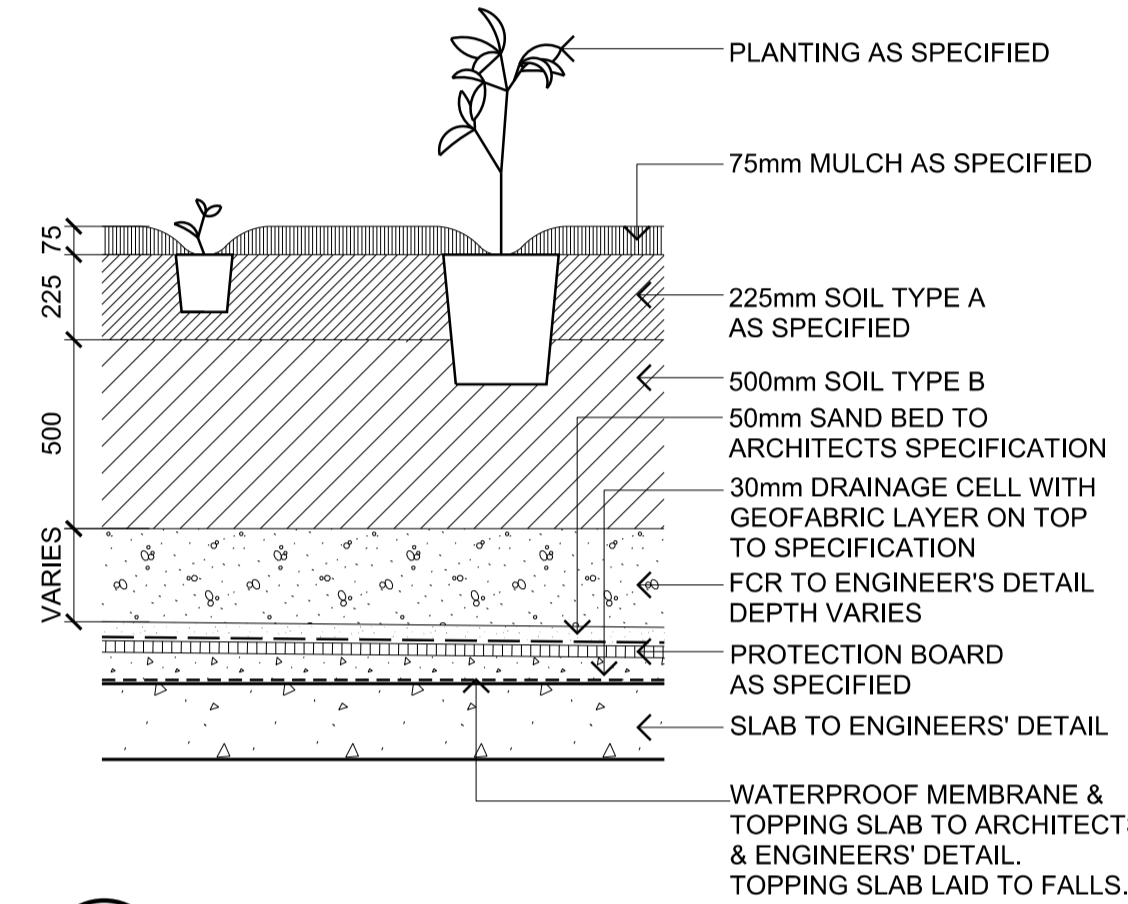


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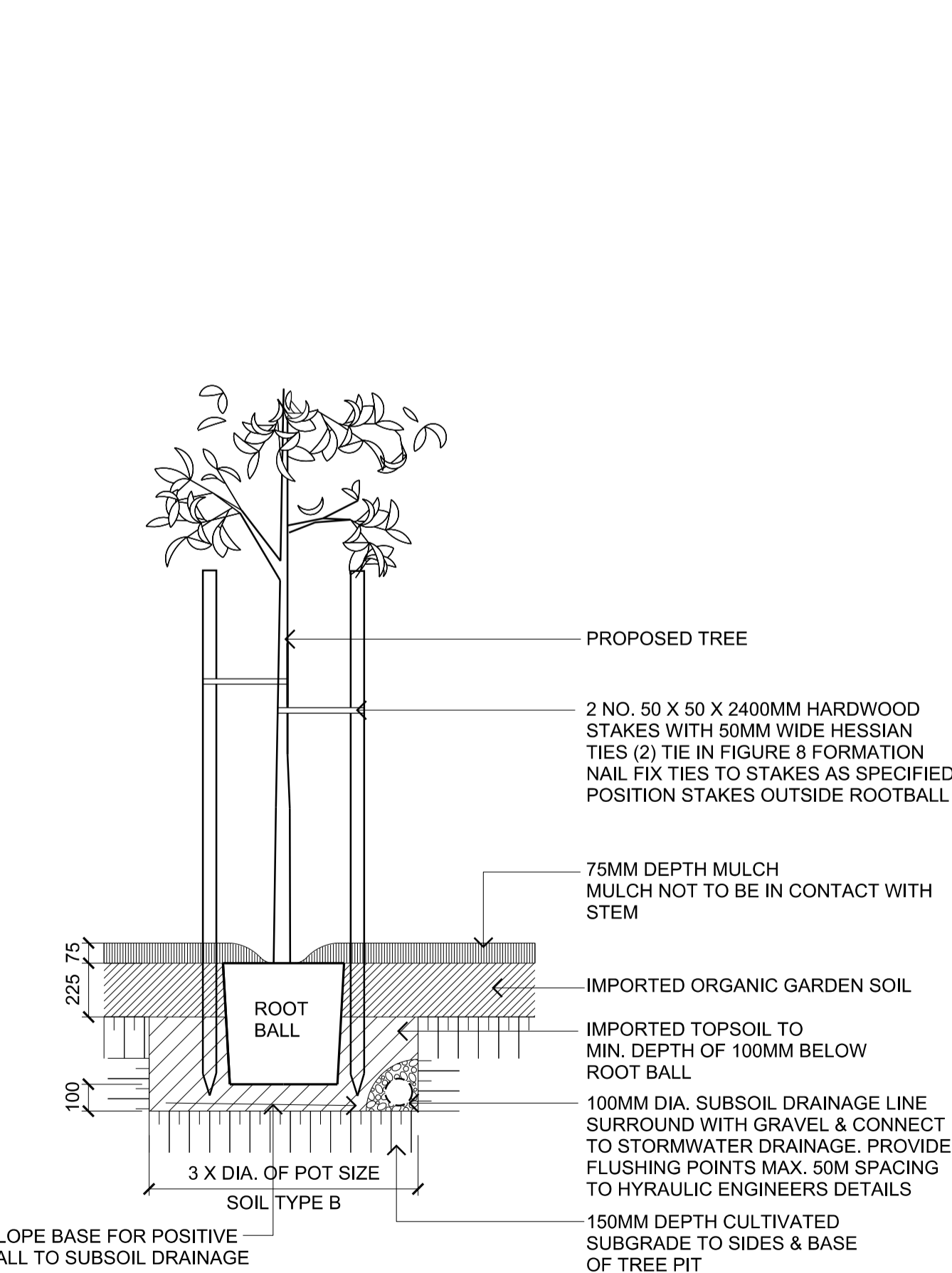
A07



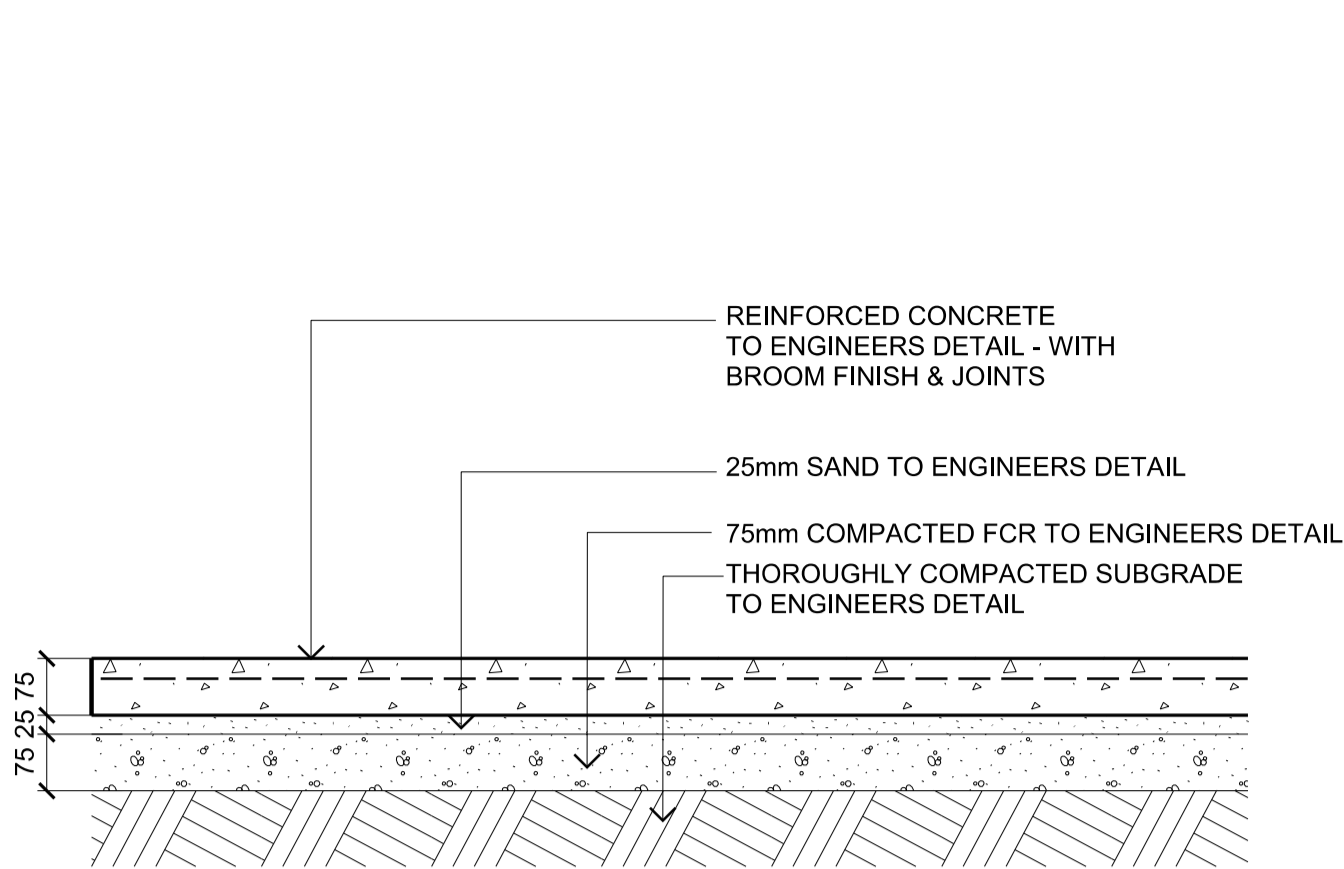
01 GENERAL PLANTING IN GRADE TYPICAL SECTION SCALE 1:50



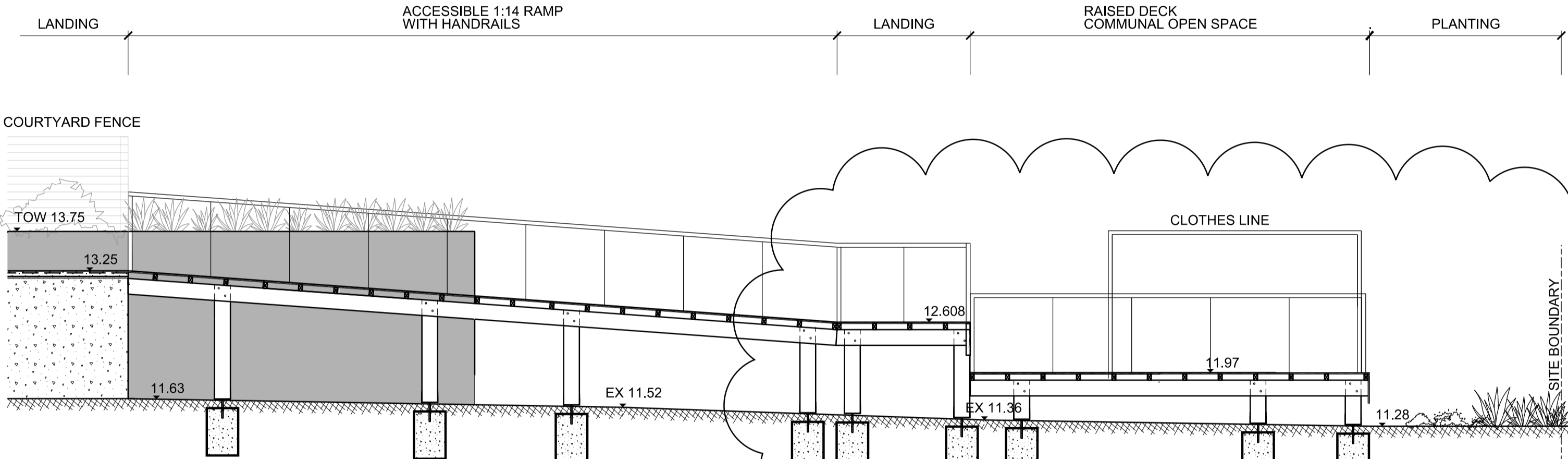
02 PLANTING ON SLAB TYPICAL DETAIL SCALE 1:20



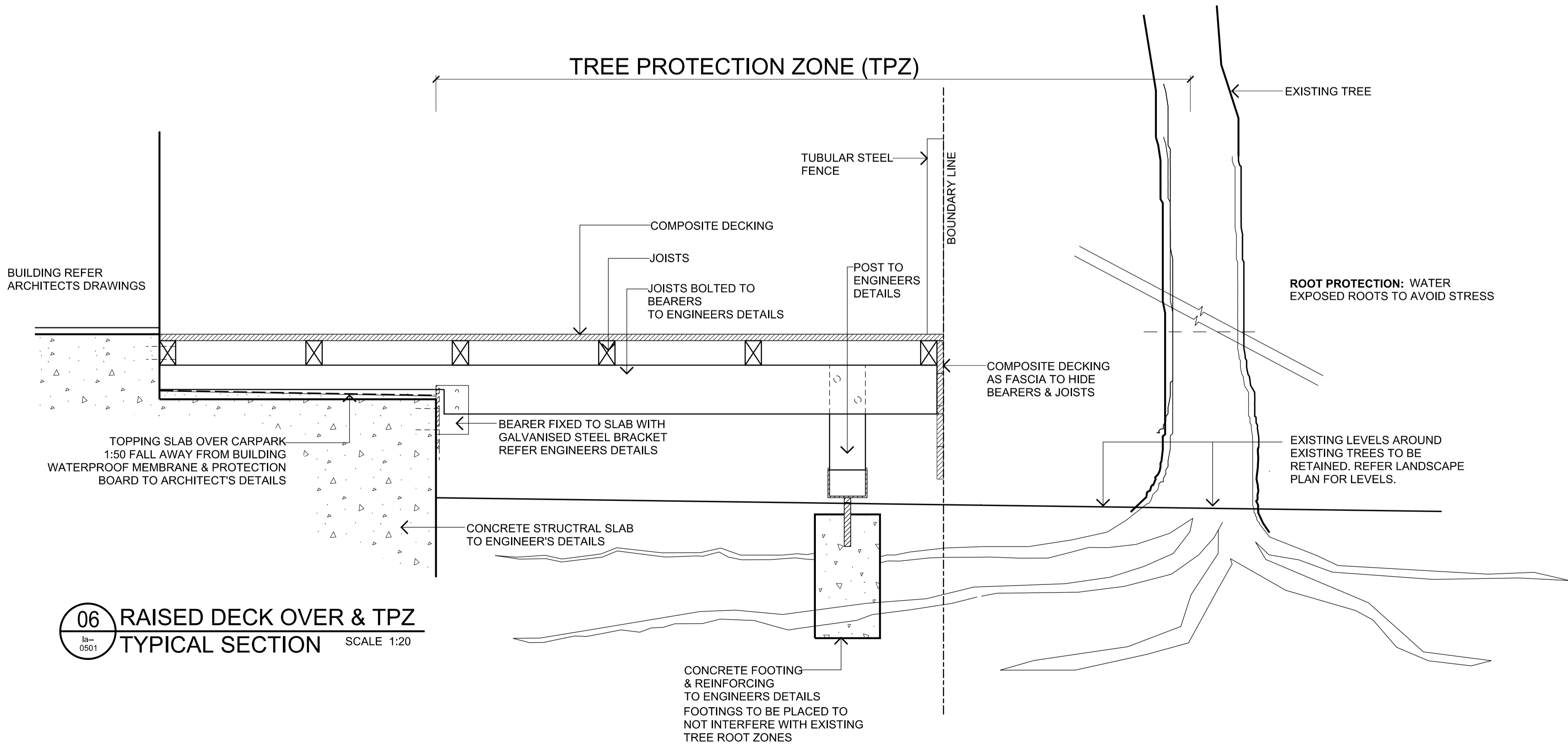
03 TREE PLANTING TYPICAL SECTION SCALE 1:20



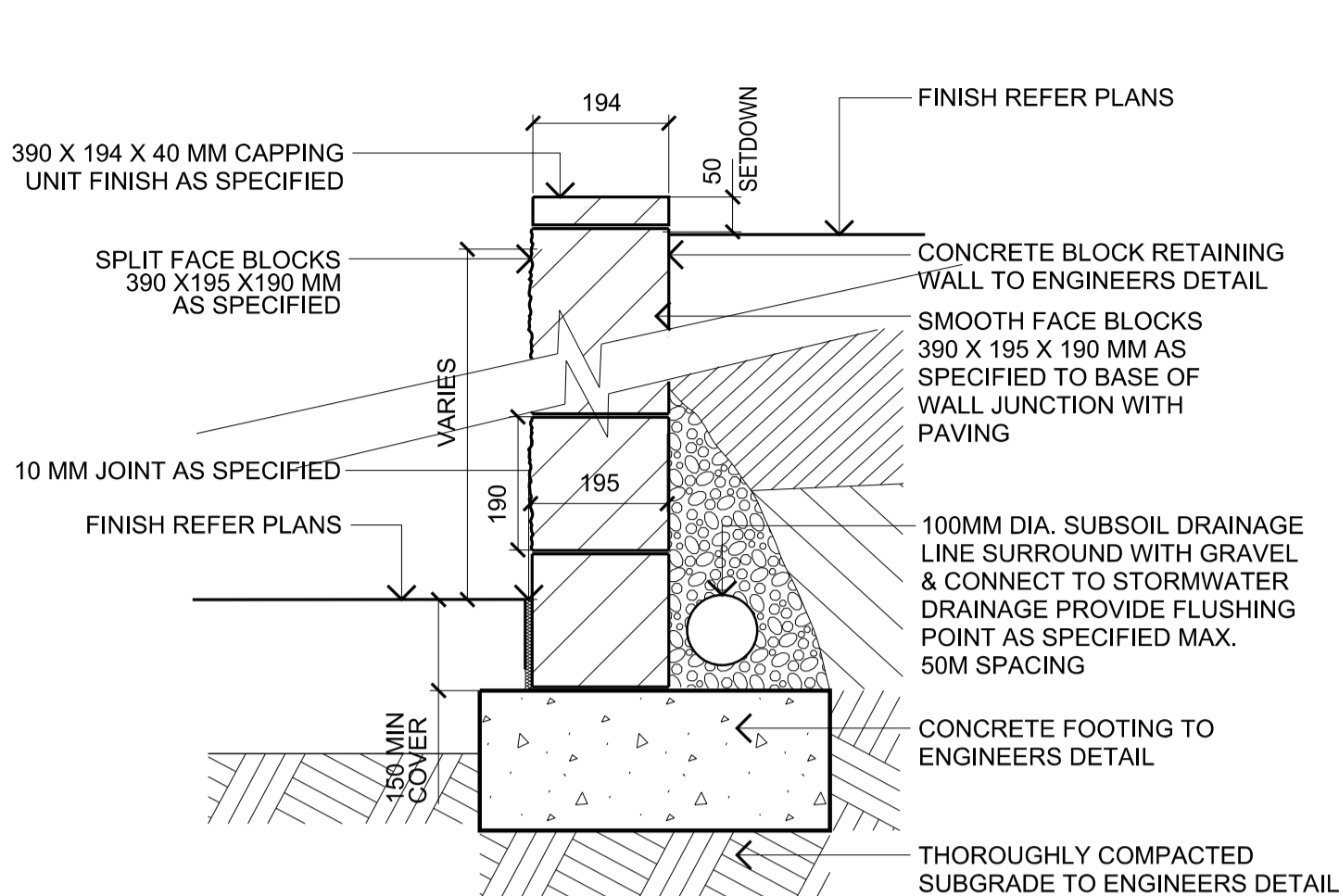
04 CONCRETE PAVEMENT TYPICAL SECTION SCALE 1:10



AA DECK & RAMP SECTION SCALE 1:50



06 RAISED DECK OVER & TPZ TYPICAL SECTION SCALE 1:20



05 CONCRETE BLOCK WALL TYPICAL SECTION SCALE 1:10

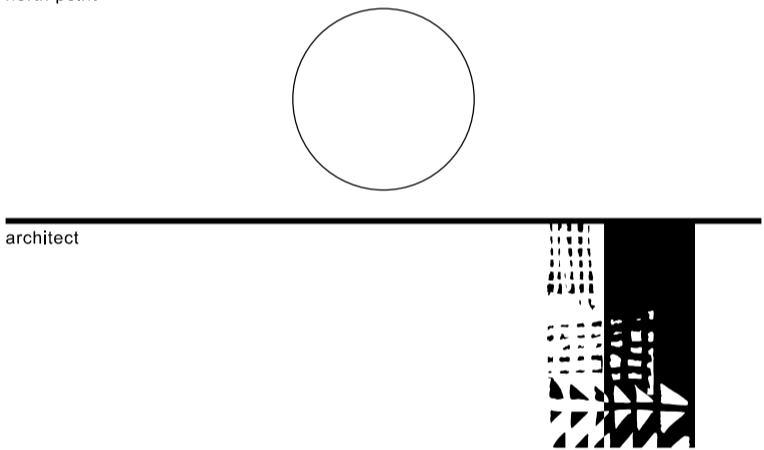
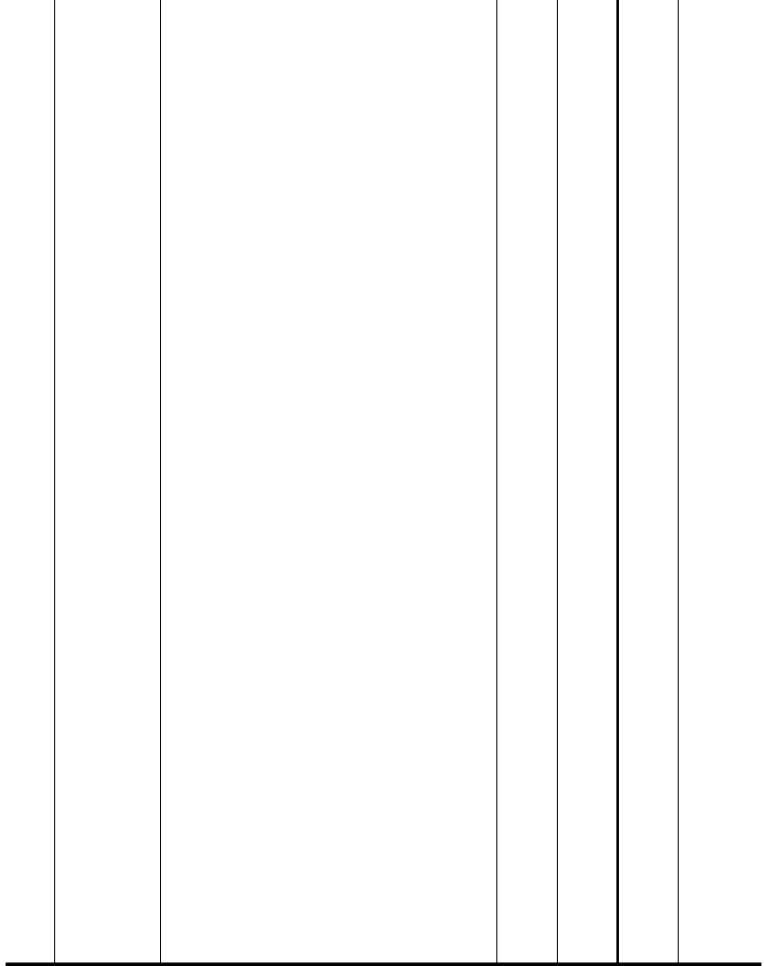
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A02	3008/18	FINAL COORDINATION	JB	JB	AB	AB		
A03	3108/18	DRAFT DA	JB	JB	AB	AB		
A04	1409/18	DA ISSUE	JB	JB	AB	AB		
A05	1209/19	REVISED DA ISSUE	AB	AB	AB	AB		



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civil engineer



services engineer



structural engineer



landscape details

da issue

original	scale	drawn	project no.
a1	AS SHOWN	JB	4477-01
drawing no.	rev no.		

la--8901

A05



