

oration	18-20 Irving St Parramatta

NSW

DESIGNED : K.H PLOTTED : 13/09/20 DATE:

ving St Parrama	atta	
CHECKED :	CAD REF: 18-20 Irving St Parramatta.pln	
019	SCALE: @ A3	
	PROJECT NO: BGKXR	

ominated architects: Rudi Valla BArch (Hons) nsw reg no 6582 Jon Pizey BArch nsw reg no 6567

DEVELOPMENT APPLICATION

PROPOSED RESIDENTIAL FLAT BUILDING



DRAWING LIST

plotted by: YLj

12(00/10

UNITS SCHEDULE

drawing number	description	scale
(arcv00	Cover page and drawing list	N/A
ar0100	Site Plan	1:200
ar0300	Demolition Plan	1:100
ar-1200	Basement Plan	1:100
(ar1201	Ground Level Plan	1:100)
ar1202	Level 1 Plan	1:100
ar1203	Level 2 Plan	1:100
ar-1204	Level 3 Plan	1:100
ar1205	Roof Plan	1:100
ar2200	Section 1 & 2	1:100
ar2201	Section 3 & 4	1:100 <
ar2202	Section 5 & 6	1:100 <
ar2600	West and East Elevations	1:100 🗸
ar2601	North and South Elevations	1:100)
ar3300	Adaptable Unit Layout	1:50
(ar4200	Wall Detail Sections	1:20

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-cv00.dan

					Solar								Solar		
		Internal	POS/		Access	Cross				Internal	POS/		Access	Cross	
Unit No	Unit Type	Area	Balcony	Total Area	(Min 2hr)	ventilation	LHDG / AS4299	Unit No	Unit Type	Area	Balcony	Total Area	(Min 2hr)	ventilation	LHDG / AS4299
Ground fl	oor							Level 2							
G01	2 Bed	70m ²	34m ²	104m ²	Yes	Yes	Livable - Gold level	201	2 Bed	70m ²	10m ²	80m ²	Yes	Yes	Livable - Gold level
G02	1 Bed	53m ²	27m ²	80m ²	Yes	Yes	Livable - Gold level	202	1 Bed	53m ²	10m ²	63m ²	Yes	Yes	Livable - Gold level
G03	1 Bed	58m ²	23m ²	81m ²	Yes	No	Adaptable AS4299	203	1 Bed	52m ²	9m ²	61m ²	Yes	No	Livable - Gold level
G04	1 Bed	53m ²	27m ²	80m ²	Yes	No	Livable - Gold level	204	1 Bed	53m ²	9m ²	62m ²	Yes	No	Livable - Gold level
G05	2 Bed	70m ²	36m ²	106m ²	Yes	Yes	Livable - Gold level	205	2 Bed	70m ²	11m ²	81m ²	Yes	Yes	Livable - Gold level
G06	2 Bed	76m ²	11m ²	87m ²	No	Yes	Livable - Gold level	206	2 Bed	80m ²	11m ²	91m ²	No	Yes	Adaptable AS4299
Level 1								Level 3							
101	2 Bed	70m ²	10m ²	80m ²	Yes	Yes	Livable - Gold level	301	1 Bed	55m ²	15m ²	70m ²	Yes	Yes	Livable - Gold level
102	1 Bed	53m ²	10m ²	63m ²	Yes	Yes	Livable - Gold level	302	1 Bed	52m ²	9m ²	61m ²	Yes	No	Livable - Gold level
103	1 Bed	52m ²	9m ²	61m ²	Yes	No	Livable - Gold level	303	1 Bed	53m ²	9m ²	62m ²	Yes	No	Livable - Gold level
104	1 Bed	53m ²	9m ²	62m ²	Yes	No	Livable - Gold level	304	2 Bed	73m ²	11m ²	84m ²	Yes	Yes	Livable - Gold level
105	2 Bed	70m ²	11m ²	81m ²	Yes	Yes	Livable - Gold level								
106	2 Bed	80m ²	11m ²	91m ²	No	Yes	Adaptable AS4299								

amer	ndments				verifi	ed
no.	date	amendment	by	chk'd	Init	chk'd
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planning, urban design, architecture, landscape architecture, interior design dem

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rresidential flat building Lot1 D.P.830369, &Lot 30 D.P.2633, 18-20 irving street, parramatta



NSW LAND & HOUSING CORPORATION quarie Street, Parramatta, NSW 215



C & M CONSULTING ENGINEERS

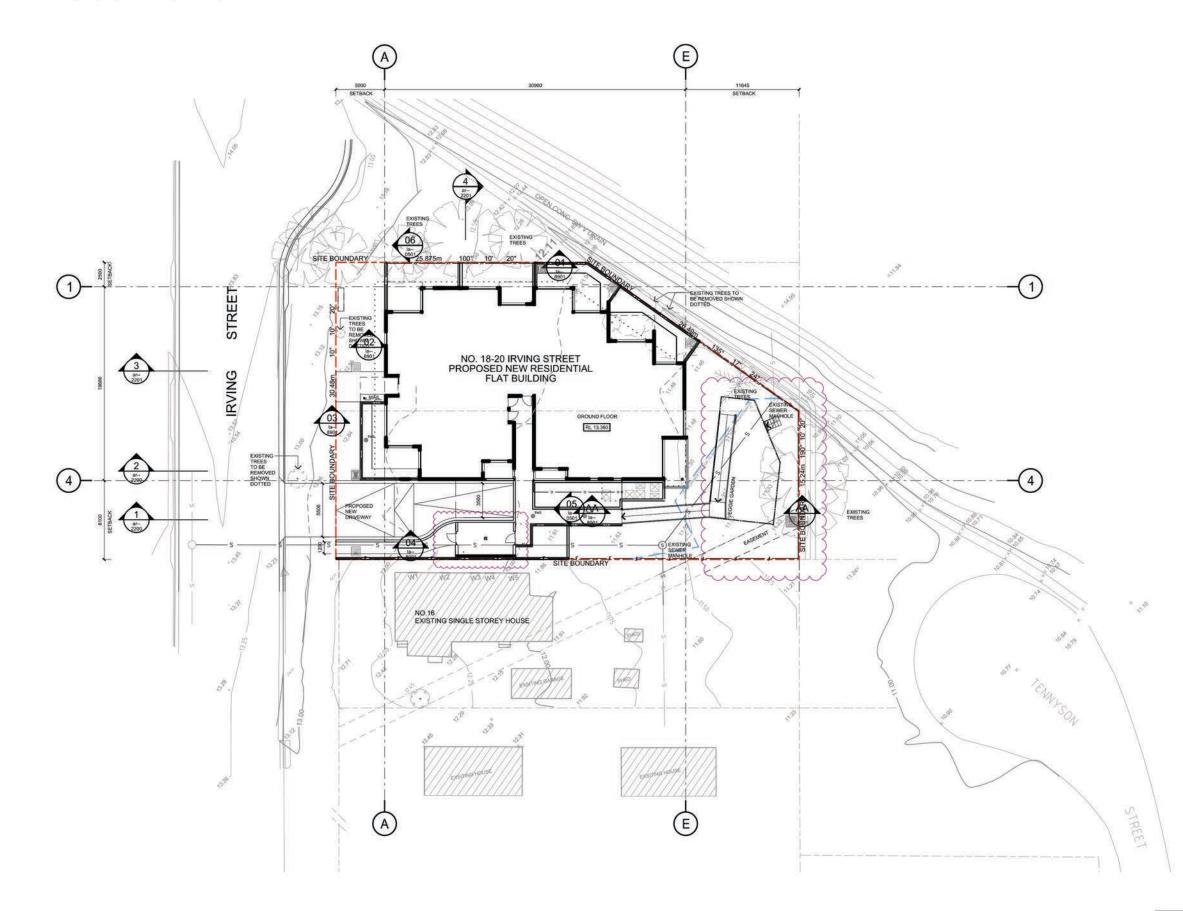
BSE BUILDING SERVICES ENGINEER

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ny		ENGINEERS
	CO	TAYLOR LAUDER BERSTEN PTY, LTD.

cover page & drawing list

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original	scale	drawn	project no.
a1	nts	wj	4477-00
drawing no			rev no.
ar	cv00		a04



Planning requirements : Zone R4 High Density Residential

Site Area: 1280.30 m²

	SEPP ARH 2009	LEP	Proposed
FSR	1.3:1	0.8:1	1.25 : 1
GFA	1664 m ²	1024 m ²	1598 m ²
Height Limit		Max.: 11.0 m	Front: 14.1m, Rear: 15.1m 3.5 storeys
Resident Car Parking	11 spaces).=	11 spaces
Bicycle Parking	-	11 spaces	11 spaces

	SEPP ARH 2009	ADG (SEPP 65)	Proposed
Deep soil Zone	Min. 15%	Min. 7%	21.8%
	192.05 m ²	89.62 m ²	280 m ²
Landscape Area	35 m ² x 22 units 770 m2	7 4	28% 362 m ²
Communal Open	-	Min. 25%	26.1%
Space		320.08 m ²	334 m ²

	SEPP ARH 2009	ADG (SEPP 65)	Proposed	
Calas Assess	Min. 70% - 3hrs	Min, 70% - 2hrs	86.4% - 2hrs	Ground floor
Solar Access	Min. 70% - 3nrs	Win. 70% - 2nrs	72.7% - 3hrs	Level 1
				Level 2
Cross Ventilation	-	Min. 60%	63.6%	Level 3
		Transis of U. Personalised		Total
No Direct Sun light		Max. 15%	0%	%

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All miscellaneous items such as tatirs, ramps, bollards, benches, seals, andrails, balvairade», water lealures, plaground equipment, fances andthe like that are indicated on the drawings, are indicated as design intent indicated as a sealing of the sealing of the sealing of these elements related to all supports is structural aspects of these elements. Where specific apport / structural information is not inhum in the design divers appendic apport / structural information is not inhum in the design supports / footings as required to ensure installations are structurally sound and adequate to suit the installation. The Contractor shall be responsible for providing all necessary attructural engineering inputs & certifications necessary to asistly this requirement.

ligured dimensions to be taken in preference to scaled dimensions. verify all dimensions on the job before preparing shop drawings or commencing work. dimensions shown are computer generated and the contractor is to apply standard building tolerances.

verified suitable for the use stipulated by the relevant revision/issue only if initialled and checked by an authorised **dem** (aust) pty limited representative.

no. A01 A02	date	amendment	by	chk'd	init	chk'd
	21/09/18	DA SUBMISSION POSs UPDATED	WJ	WJ	MN	MN
A03	29/04/19	POSs UPDATED BLDG FOOTPRINT UPDATED GARBAGE AREA UPDATED	WJ YL	WJ YE	ED	ED
		COMMUNAL OPEN SPACE UPDATED	0.066			
north	point					
archi	teci	V				
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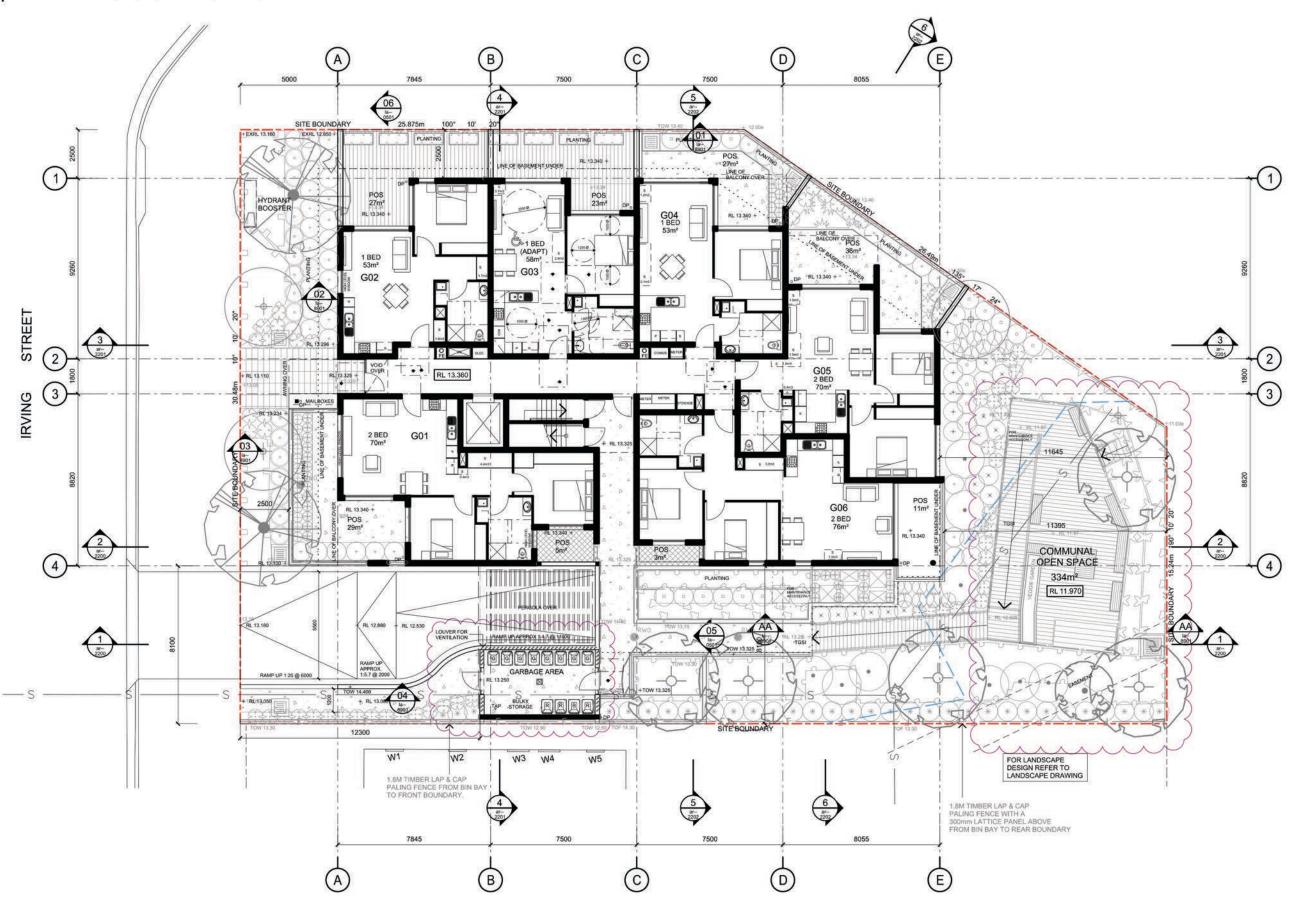
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E	XTERNAL WORKS AND LEVELS

1 bed	2 bed	Total	
3	3	6	
3	3	6	
3	3	6	
3	1	4	
12	10	22	
55%	45%	100%	

ar--0100

a03

o 6582 Jon Pizey BArch nsw reg no 6567



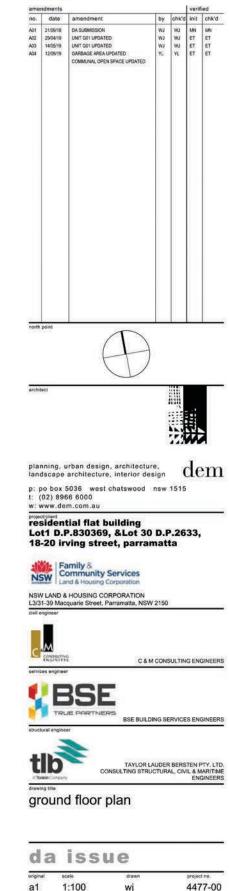
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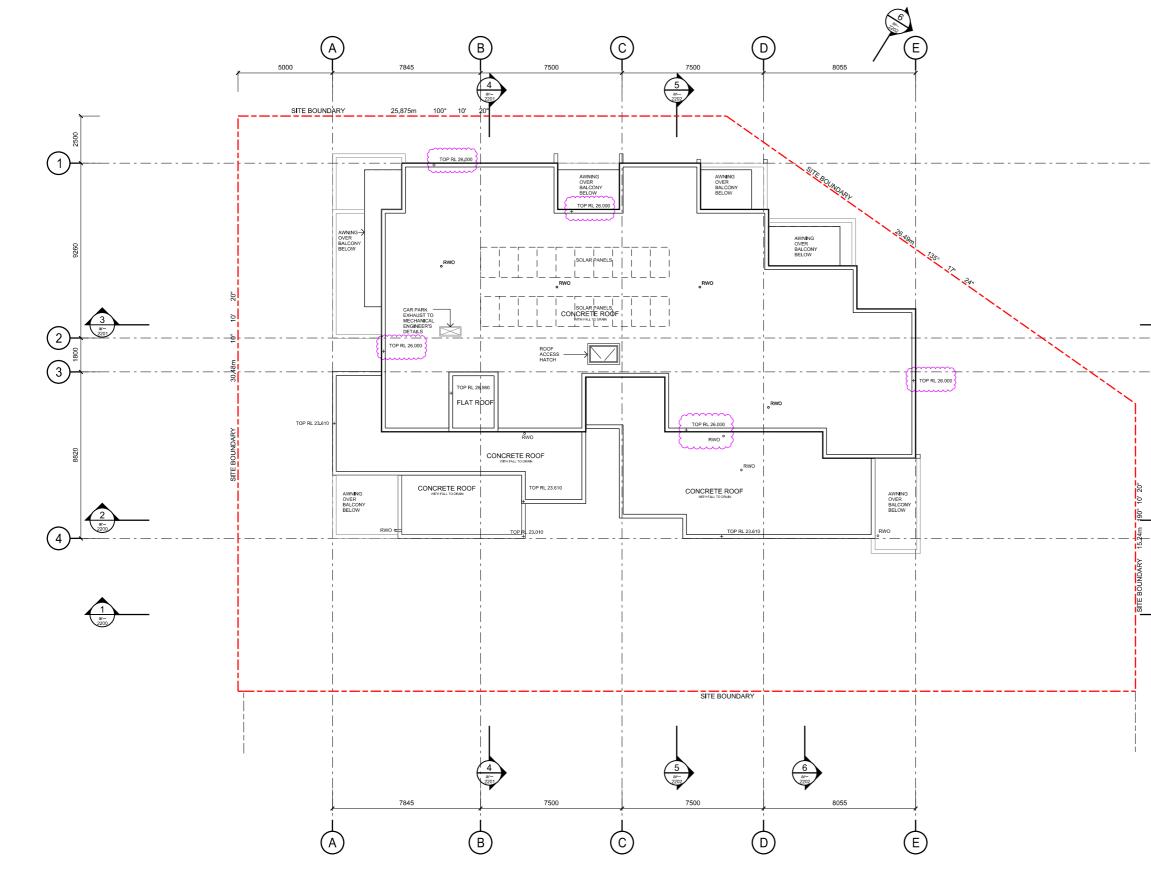
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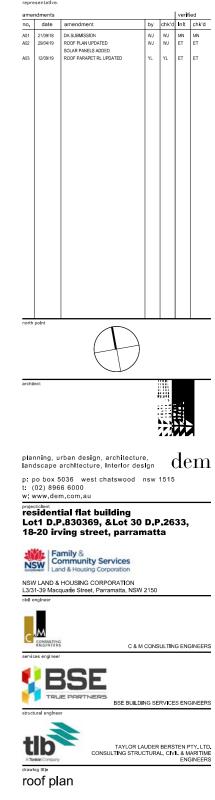
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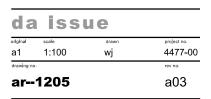
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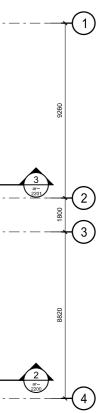
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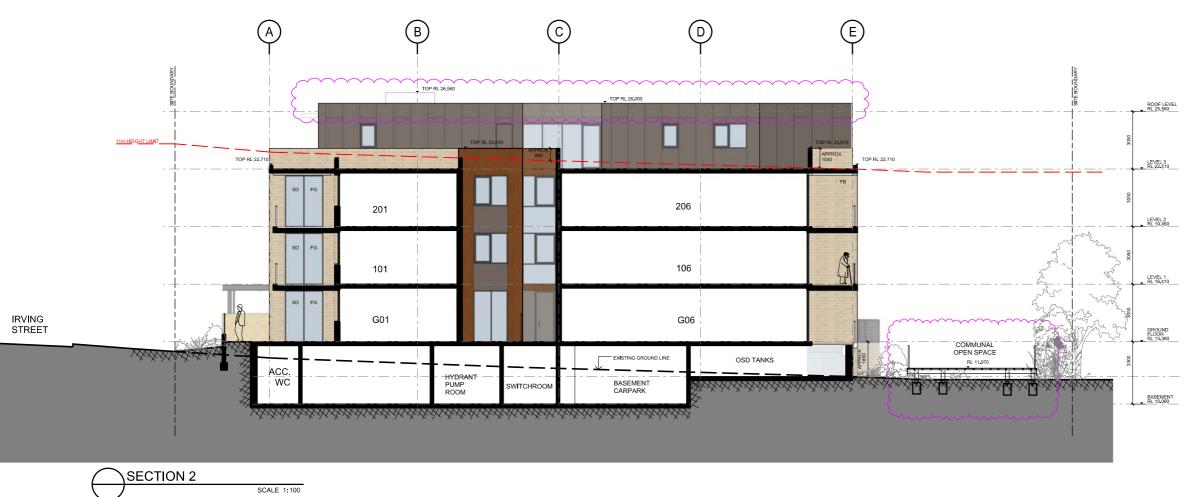








nominated architects: Rudi Valla BArch (Hons) nsw reg no 6582 Jon Pizey BArch nsw reg no 6567



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abbreviations / legend

		•
	FC-1	PREFINISHED WALL PANEL - GREY COLOR
1	FC-2	PREFINISHED WALL PANEL - TERRACOTTA COLOR
	FC-3	PREFINISHED WALL PANEL - WHITE COLOR
	CONC-S	CONCRETE FINISH WITH SKIM COAT - OFF WHITE
ini ini Contra Contra Maria Contra Maria Contra	FB	FACE BRICK-IN CREAMY COLOR
	LVR-T	LOUVRES IN "TIMBER LOOK" COLOR
	STN	SANDSTONE
	AW	ALUMINIUM FRAMED AWNING WINDOW
	BAL-1	BALUSTRADE INFILL WITH VERTICAL "L" ANGLE
	BAL-2	BALUSTRADE WITH PERFORATED METAL INFILL PANEL
	D	SOLID DOOR
	FG	ALUMINIUM FRAMED FIXED GLASS
	FR-AG	GLAZING WITH FIRERATED PANEL BEHIND
	GD	ALUMINIUM FRAMED GLAZING DOOR
	RP-1	MASONRY WALL RENDERED AND PAINTED IN GREY

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documents, across tems such as stars, ramps, bullards, backets, hand rules, balasizades, water features, playground equipment, for only. Refer Starkoural Engineers' documents for detailed engineer where specific support i structural information is not shown in the supports / footing as required to ensure installations are structure and adequate to suit the installation. The Contract's shall be engineer for providing all necessary structures installations.

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no.	date	amendment	by	chk'd	Init	chk'd
A01	21/09/18	DA SUBMISSION	WJ	WJ	MN	MN
A02	29/04/19	FLOOR TO FLOOR HEIGHT UPDATED SECTION UPDATED	WJ	WJ	ET	ET
A03	12/09/19	ROOF PARAPET RL UPDATED COMMUNAL OPEN SPACE UPDATED	YL	ΥL	ET	ET





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projecticilient residential flat building Lot1 D.P.830369, &Lot 30 D.P.2633, 18-20 irving street, parramatta



NSW LAND & HOUSING CORPORATION L3/31-39 Macquare Street, Parramatta, NSW 2150 civil engineer



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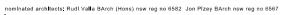


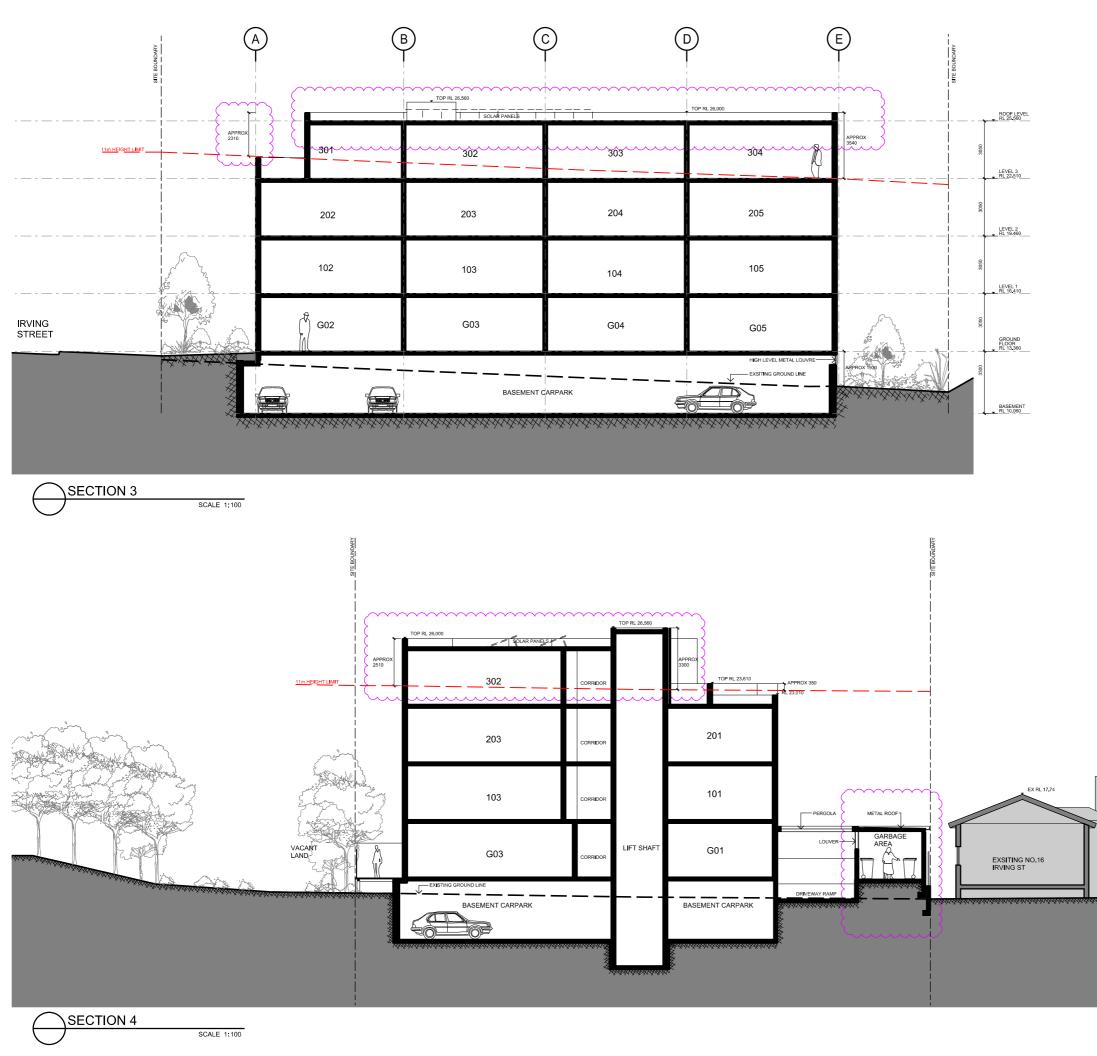
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section 1 & 2

drawing title

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abbreviations / legend

FC-1	PREFINISHED WALL PANEL - GREY COLOR
FC-2	PREFINISHED WALL PANEL - TERRACOTTA COLOR
FC-3	PREFINISHED WALL PANEL - WHITE COLOR
CONC-S	CONCRETE FINISH WITH SKIM COAT - OFF WHITE
FB	FACE BRICK-IN CREAMY COLOR
LVR-T	LOUVRES IN "TIMBER LOOK" COLOR
STN	SANDSTONE
AW	ALUMINIUM FRAMED AWNING WINDOW
BAL-1	BALUSTRADE INFILL WITH VERTICAL "L" ANGLE
BAL-2	BALUSTRADE WITH PERFORATED METAL INFILL PANEL
D	SOLID DOOR
FG	ALUMINIUM FRAMED FIXED GLASS
FR-AG	GLAZING WITH FIRERATED PANEL BEHIND
GD	ALUMINIUM FRAMED GLAZING DOOR
RP-1	MASONRY WALL RENDERED AND PAINTED IN GREY

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amendments verified						ed
no.	date	amendment	by	chk'd	Init	chk'd
A01	21/09/18	DA SUBMISSION	WJ	WJ	MN	MN
A02	29/04/19	FLOOR TO FLOOR HEIGHT UPDATED	WJ	WJ	ET	ET
		SECTION UPDATED				
A03	12/09/19	GARBAGE AREA UPDATED	YL	YL	ET	ET
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sections 3 & 4

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abbreviations / legend

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	RP-1	MASONRY WALL RENDERED AND PAINTED IN GREY

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2	14/05/19	DA SUBMISSION	WJ	WJ	ET	ET
3	12/09/19	ROOF PARAPET RL UPDATED	YL	YL	ET	ET
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sections 5 & 6

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WEST ELEVATION VIEW FROM IRVING ST SCALE 1:100



EAST ELEVATION
SCALE 1: 100

FC-1	PREFINISHED WALL PANEL - GREY COLOR	prep the s or in limit docu	ared and/o lole repres formation ed. dem (a ments, adv	awings, advice or information inclu r provided by any other party, incl entation of the party who prepared and does not consiliute a represen- and by limited expressly takes no vice or other material prepared by	uding t the re itation o respo any oth	he clier port dr by den insibilit her part	nt/prin awing (aus ly for a ty	t) pty any
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SSW Family & Commun	nity Services sing Corporation
NSW LAND & HOUSIN	IG CORPORATION reet, Parramatta, NSW 2150
civil engineer	
	C & M CONSULTING ENGINEER
	BSE BUILDING SERVICES ENGINEER
structural engineer	
tlb	TAYLOR LAUDER BERSTEN PTY. LTL CONSULTING STRUCTURAL, CIVIL & MARITIMI ENGINEER:
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ar2600			a04





PALISADE FENCE TO LANDSCAPE DETAILS

nominated architects: Rudi Valla BArch (Hons) nsw reg no 6582 Jon Pizey BArch nsw reg no 6567



SOUTH ELEVATION SCALE 1:100

plotted by: YLj file: P:\4477-00-LaHCPa\00Cad\Sheets\ar--2601.dgn ted: 12/09/19

abbreviations / legend

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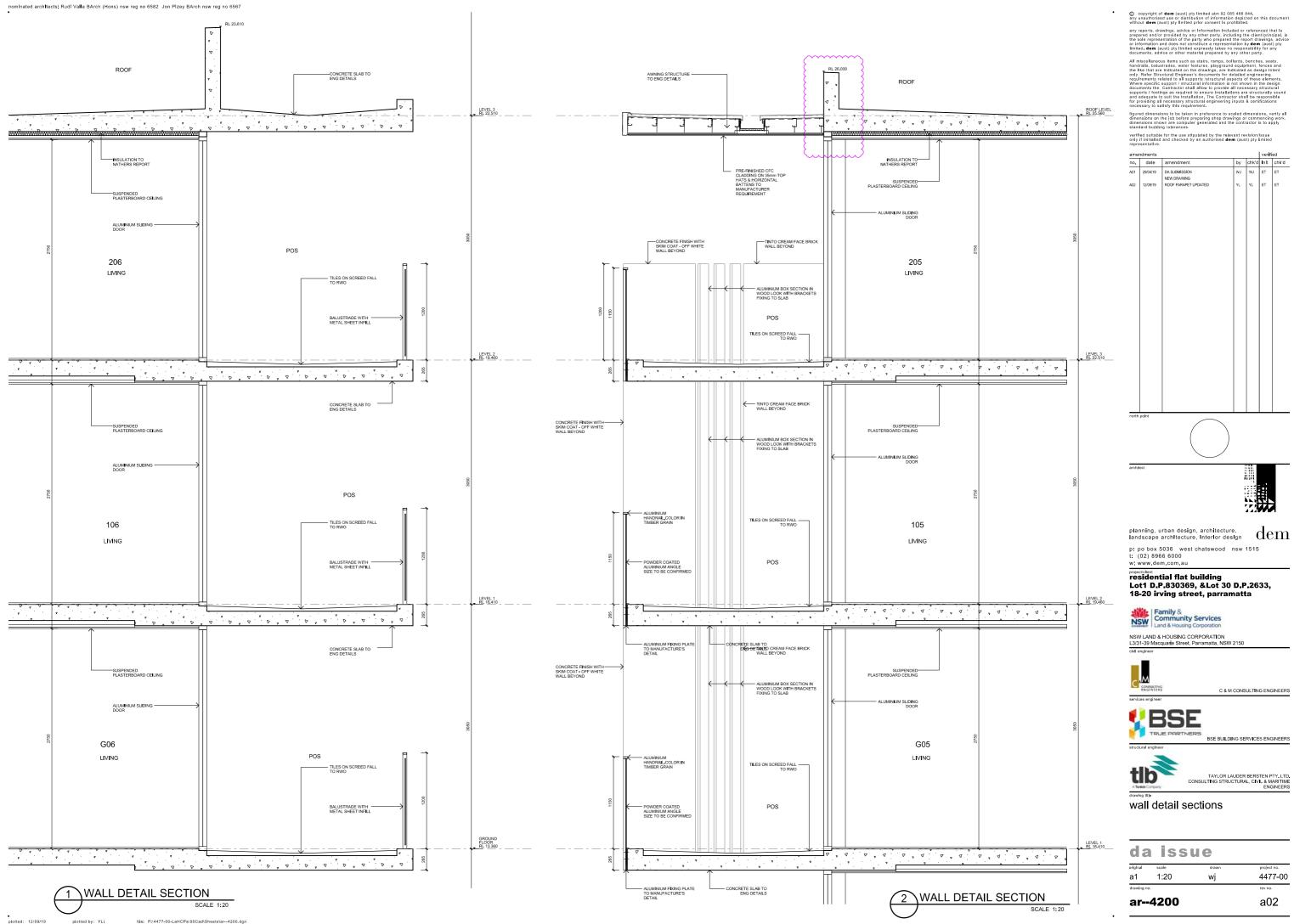




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north and south elevations

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original	scale	drawn	project no.		
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drawing no.			rev no.		
ar2601 a04					



plotted by: YLi



Social Housing Development, Parramatta Lot 1 D.P. 830369 & Lot 30 D.P. 2633, 18-20 Irving Street, Parramatta

street montage view from irving street



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RESIDENTIAL FLAT BUILDING 18-20 IRVING STREET PARRAMATTA

PLANT LIST

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	SOCIAL HOUS	ING DEVELOPN	/IENT, PARRA	MATTA				
Code	Botanic Name	Common Name	Size	Pot Size	Rate	Quantity		
TREES	IREES							
Er	Elaeocarpus reticulatus	Blueberry Ash	6x4m	75L	N/A	9		
Ep	Eucalyptus punctata	Grey Gum	12x8m	25L	N/A	2		
Li	Lagerstroemia indica	Crape Myrtle	6X6m	25L	N/A	4		
MI	Melaleuca lineariifolia	Snow in Summer	4x5m	25L	N/A	1		
TI	Tristaniopsis laurina 'Luscious'	Water Gum	8x5m	75L	N/A	5		
SHRUE	S							
Bs	Banksia spinulosa	Hairpin Banksia	1.5x1m	200mm	1000mm	6		
Bmj	Buxus microphylla	Japanese Box	Trim to 0.5x0.5m	200mm	500mm	27		
Cl	Callistemon linearifolius	Bottlebrush	2.5x1m	200mm	1000mm	22		
De	Doryanthes excesior	Gymea lily	1.5x1.5m	200mm	1000mm	17		
Ga	Gardenia augusta	Gardenia	1x1m	200mm	500mm	26		
Мр	Murraya paniculata	Orange jasmine	1x1.2m	200mm	1000mm	5		
Pg	Photinia glabra 'Red Robin'	Photinia	0.3x1m	200mm	1000mm	21		
Sr	Strelitzia reginae	Bird of Paradise	1x1m	200mm	1000mm	44		
Sp	Syzigium Pinnacle	Pinnacle	7x1.2m	200mm	1000mm	(29		
Ss	Syzygium smithii	Lilly Pilly	1x1.2m	200mm	1000mm	31		
Rop	Rhaphiolepis 'Oriental Pearl'	Oriental Pearl	0.6x1m	200mm	750mm	6		
Wfs	Westringia fruticosa Spp.	Westringia	2x2m	200mm	750mm	26		
GROU	NDCOVER							
DI	Dianella longifolia	Dianella	0.8x0.5m	150mm	6 per/m2	44		
Dr	Dichondra repens	Kidney Weed	0.2x1m	150mm	6 per/m2	58		
Ηv	Hardenbergia violacea	Happy Wanderer	0.3x2m	150mm	6 per/m2	81		
LJR	Liriope 'Just Right'	Just right	0.45x0.4m	150mm	6 per /m2	119		
Lf	Lomandra filiformis	Mat Rush	0.3x0.3m	150mm	6 per/m2	134		
LK	Lomandra 'Katrinus'	Lomandra	1x1m	150mm	6per/m2	134		
LS	Lomandra Shara	Shara	0.5x0.5m	150mm	6 per /m2	117		
NdB	Nandina domestica 'Blush'	Sacred Bamboo	0.6x0.6m	150mm	6 per/m2	44		
РХ	Philodendron 'Xanadu'	Xanadu	0.7x0.7m	150mm	6 per/m2	51		
Tj	Trachelospermum Jasminoides	Star Jasmine	1.2x1m	150mm	6 per /m2	63		
Vh	Viola hederacea	Native Violet	Groundcover	150mm	6 per /m2	58		
CLIMB	CLIMBERS							
Fp	Ficus pumila	Creeping fig	3x2m	150mm	500mm	11		



DRAWING NUI

la-	-cv00
la-	-0501
la-	-8901

LANDSCAPE ARCHITECTURAL DRAWINGS

- 1. THIS DRAWING TO BE READ IN CONJUNCTION WITH LANDSCAPE WORKS SPECIFICATION
- LEVELS SHOWN ARE IN METRES DO NOT SCALE ANY DRAWINGS
- ENGINEERS DRAWINGS
- 4. FOR BUILDING DETAILS REFER TO ARCHITECTURAL DRAWINGS
- 5. FOR STORMWATER DRAINAGE REFER
- 6. FOR LIGHTING REFER TO ELECTRICAL ENGINEERS DRAWINGS
- 7. ALL SERVICES ARE TO BE CHECKED & VERIFIED ON SITE
- 8. REFER TO SURVEY PLANS BY OPUS PTY LTD DATED 1ST APRIL 2015 SOME DISCREPANCIES MAY OCCUR

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DRAWING NAME

landscape cover sheet	A05
landscape plan	A05
landscape details	A04

ISSUE

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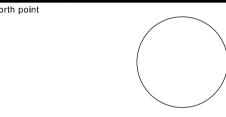
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A02	30/08/18	FINAL COORDINATION	JB	JB	AB	AB
A03	31/08/18	DRAFT DA	JB	JB	AB	AB
A04	14/09/18	DA ISSUE	JB	JB	AB	AB
A05	30/04/19	REVISED DA ISSUE	AB	AB	AB	AB
A06	12/09/19	REVISED DA ISSUE	AB	AB	AB	AB
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Family & Community Services Land & Housing Corporation

NSW LAND & HOUSING CORPORATION L3/31-39 Macquarie Street, Parramatta, NSW 2150



drawing title

C & M CONSULTING ENGINEERS



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landscape title sheet

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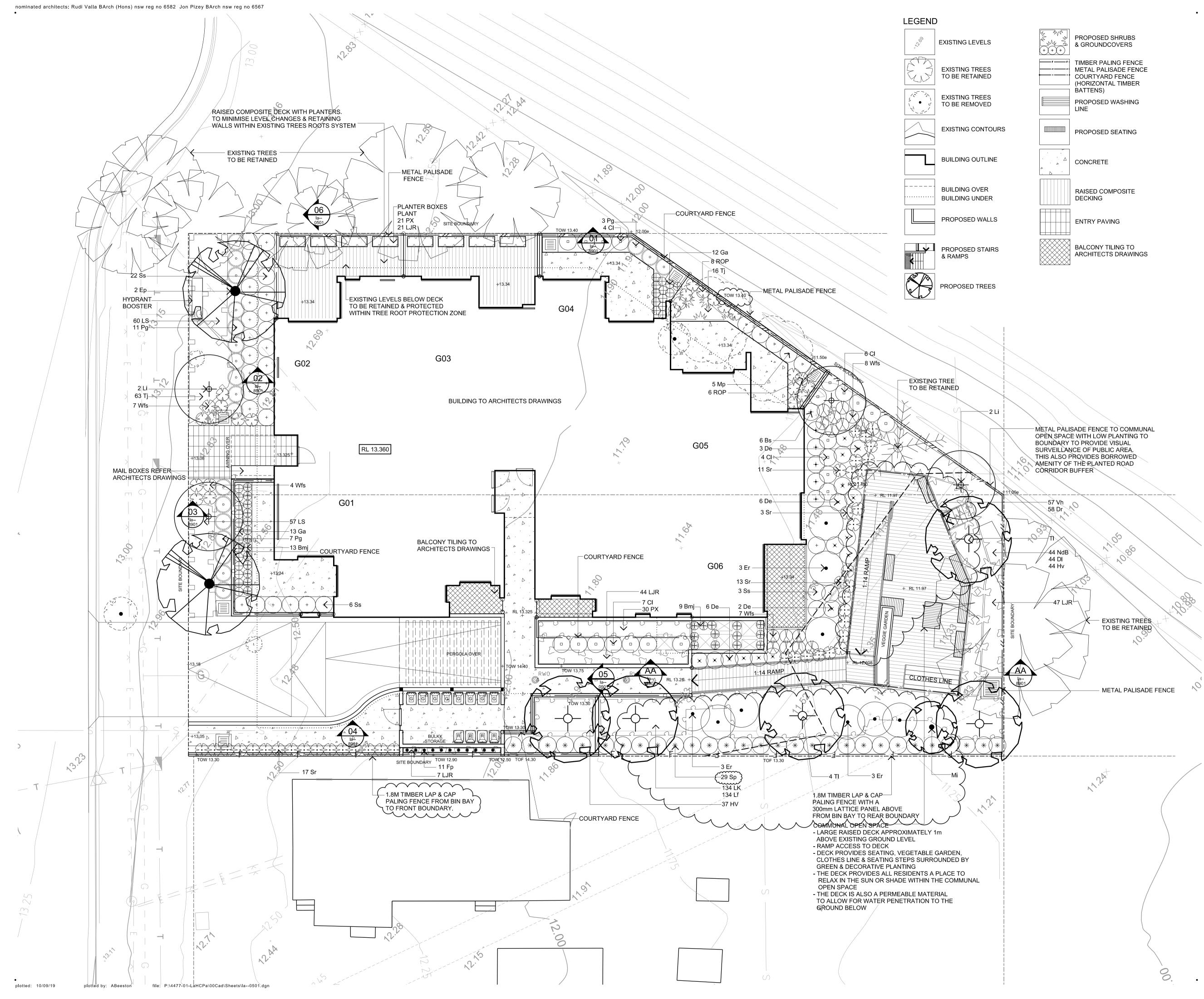
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2. DIMENSIONS ARE IN MILLIMETRES

3. FOR ROAD DETAILS REFER TO CIVIL

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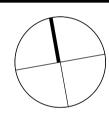
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residential flat building

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ROVERNMENT Land & Housing Corporation

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services engineer

drawing title

civil enginee

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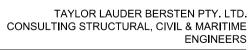




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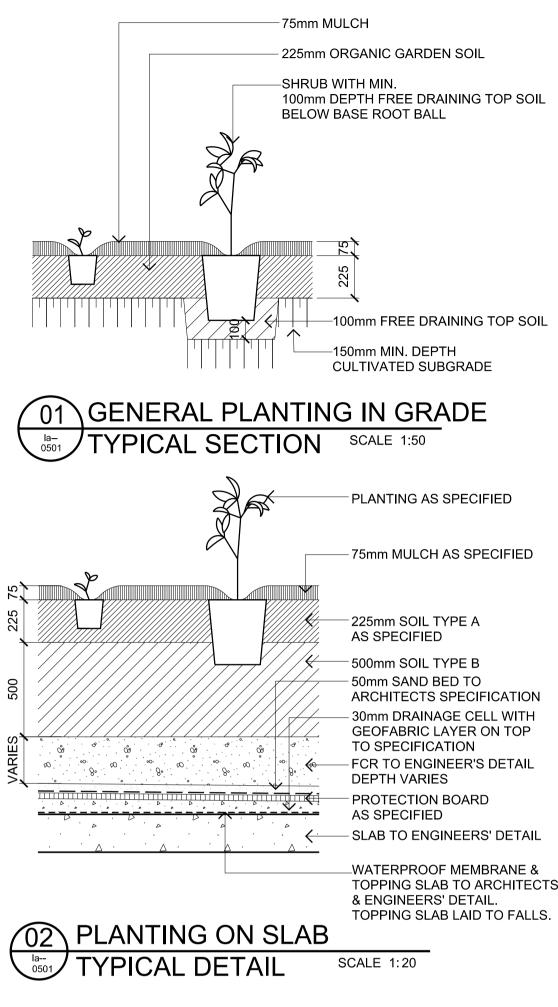


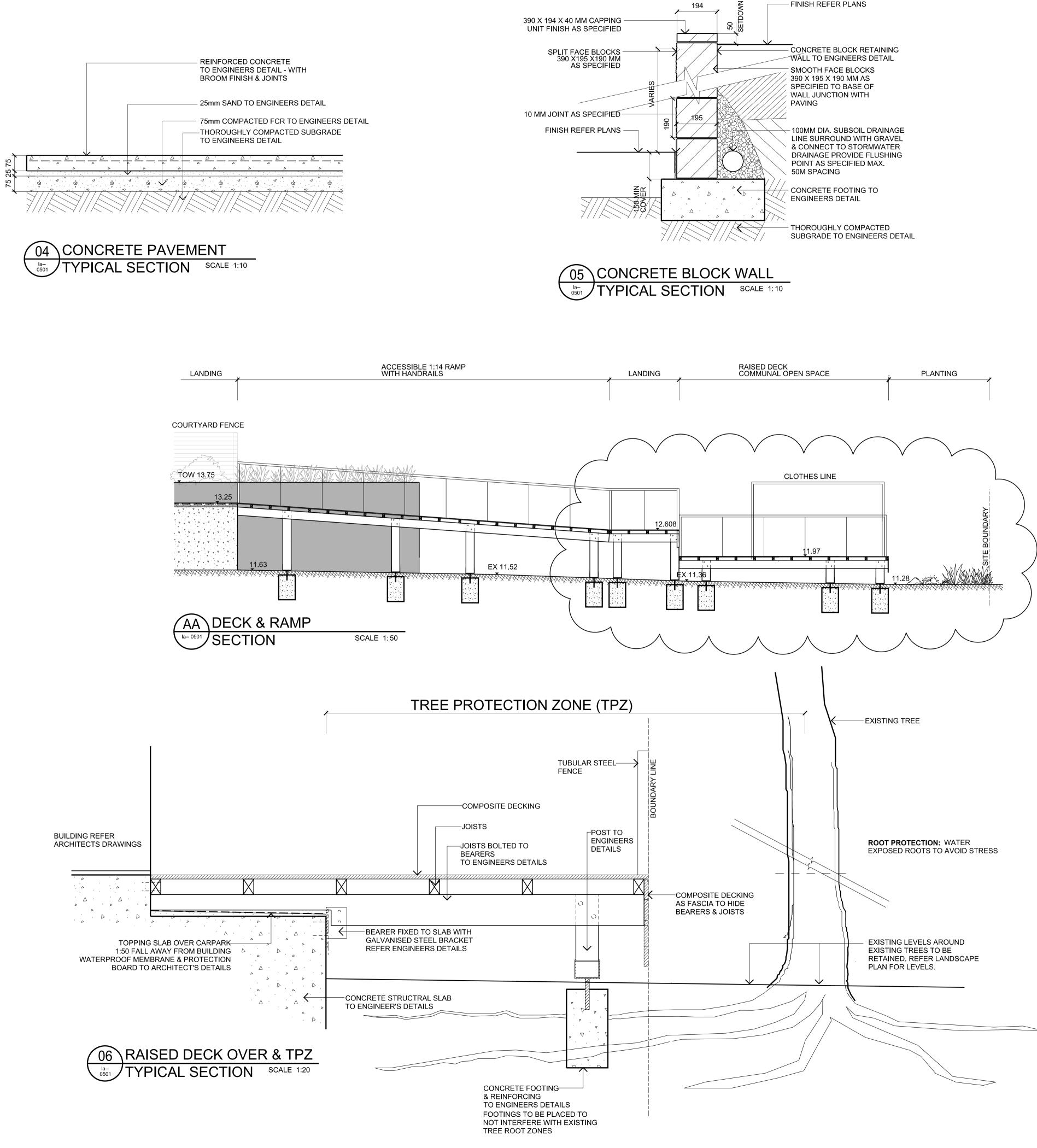
A Tonkin Company

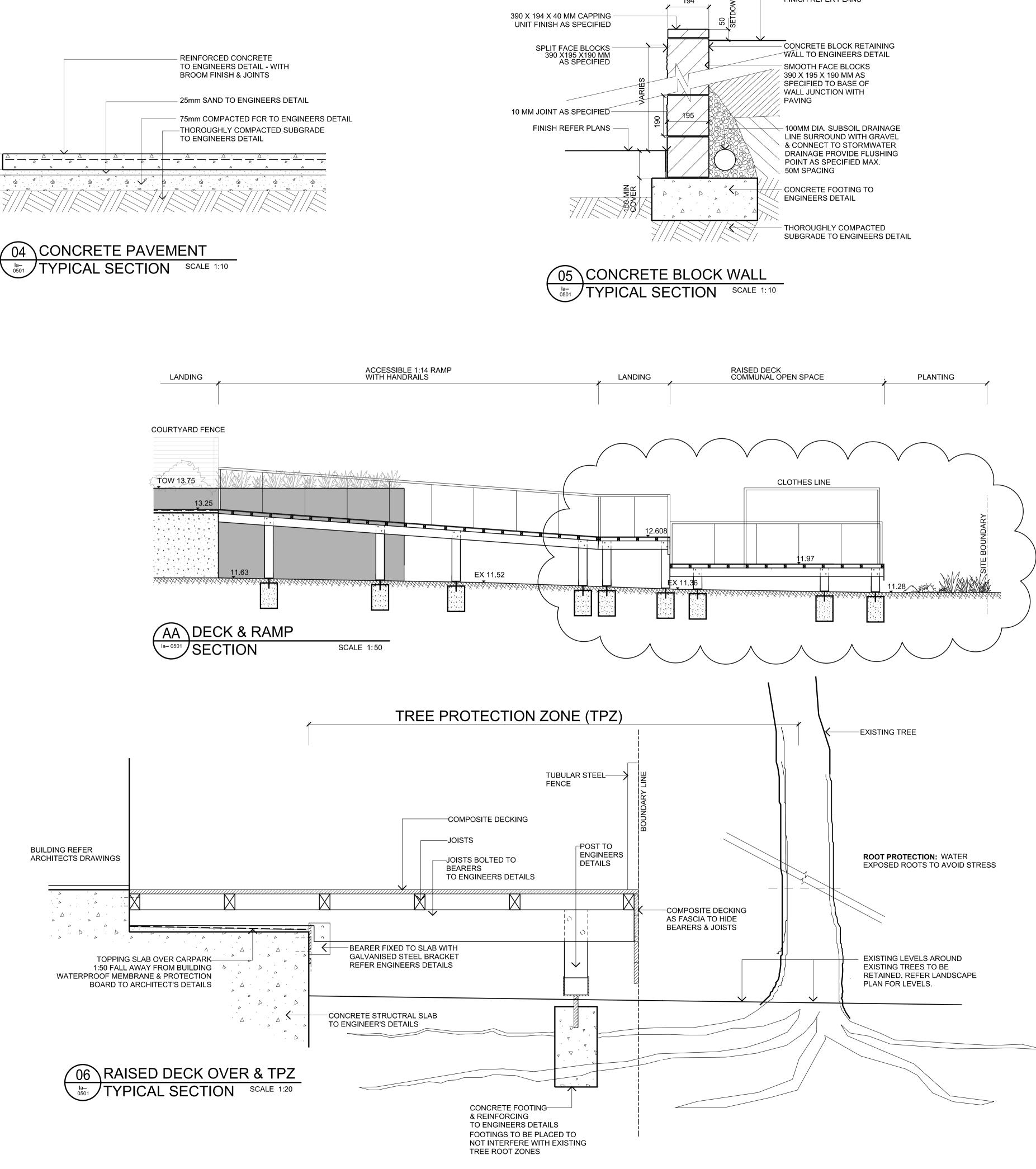


landscape plan

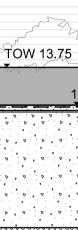
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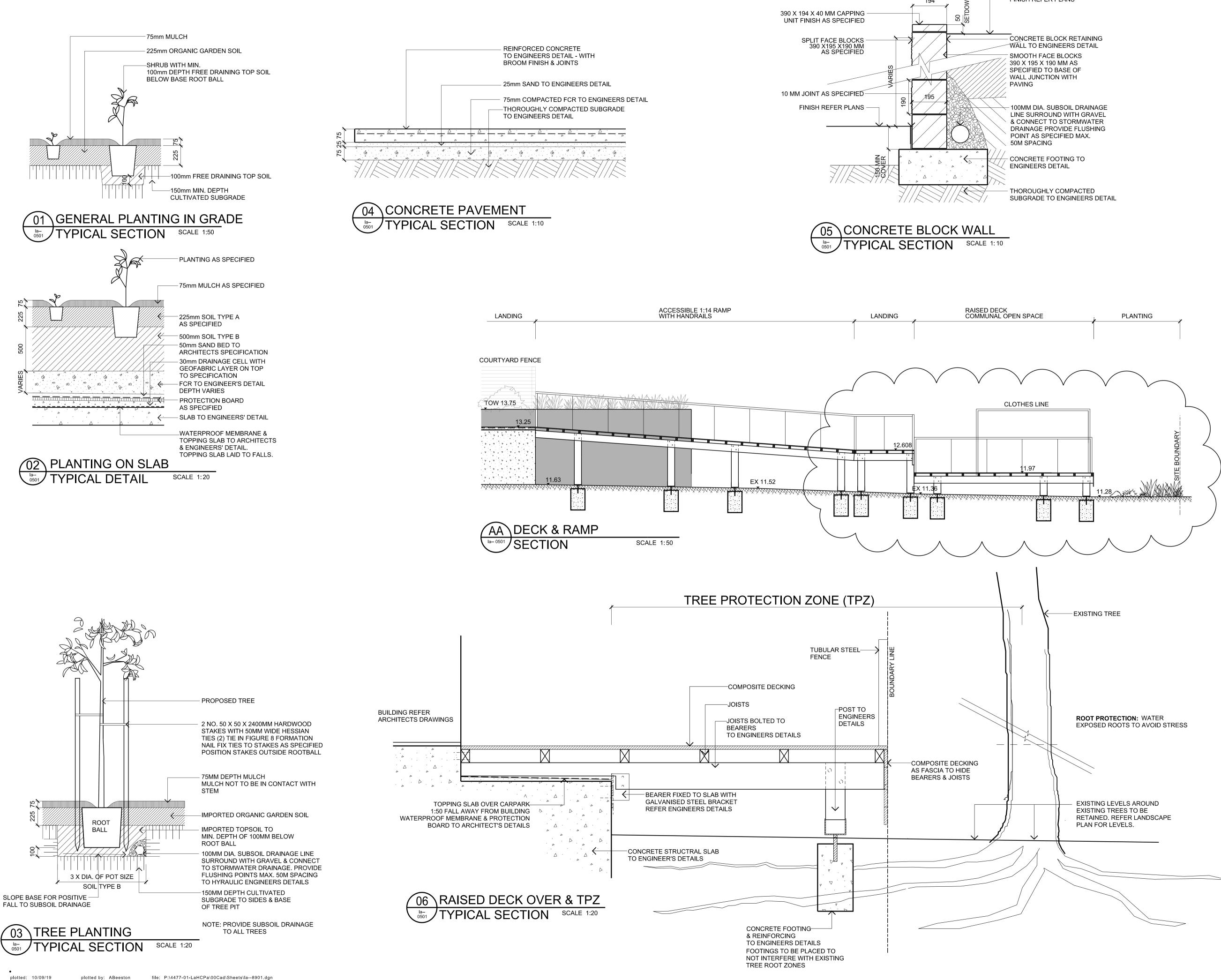












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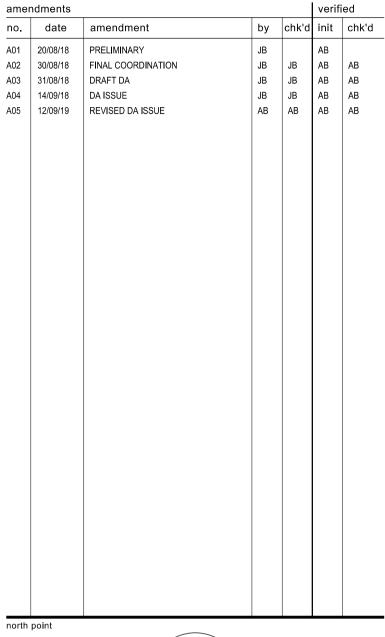
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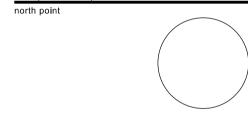
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All miscellaneous items such as stairs, ramps, bollards, benches, seats handrails, balustrades, water features, playground equipment, fences and the like that are indicated on the drawings, are indicated as design intent only. Refer Structural Engineer's documents for detailed engineering requirements related to all supports /structural aspects of these element Where specific support / structural information is not shown in the design documents the Contractor shall allow to provide all necessary structural supports / footings as required to ensure installations are structurally sound and adequate to suit the installation. The Contractor shall be responsible for providing all necessary structural engineering inputs & certifications necessary to satisfy this requirement.

figured dimensions to be taken in preference to scaled dimensions. verify all dimensions on the job before preparing shop drawings or commencing work. dimensions shown are computer generated and the contractor is to apply standard building tolerances.

verified suitable for the use stipulated by the relevant revision/issue only if initialled and checked by an authorised **dem** (aust) pty limited representative







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landscape details

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original	scale	drawn	project no.
a1	AS SHOWN	JB	4477-01
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la8901			A05

